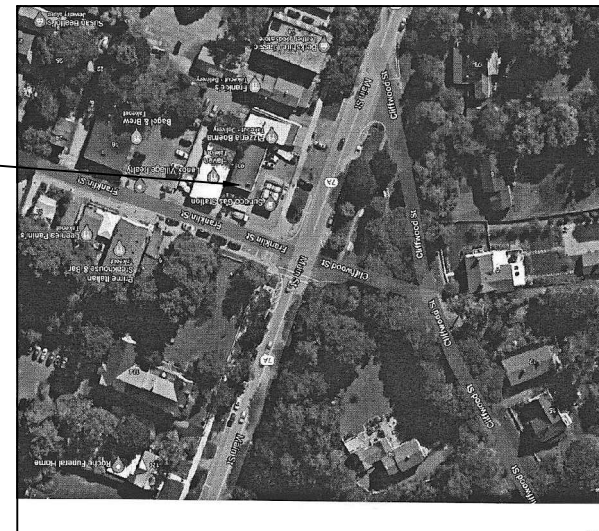


ABBREVIATIONS

ABV	ABOVE	FOSTL	FACE OF STEEL	PTD	PAINTED
AC	AIR CONDITIONING	FOT	FACE OF TRUSS	PTS	PLUGGED/TOUCH-SANDED PLWD
ACX	AC PLYWOOD, EXT. GLUE	FPSC	FIREPROOF SELF-CLOSING	R	RISER
ADJ	ADJUSTIBLE	FRMG	FRAMING	RD	ROUND
AFF	ABOVE FINISHED FLOOR	FTG	FOOTING	REF	REFRIGERATOR
ALT	ALTERNATE	GAL	GALLON	REQD	REQUIRED
ASF	ABOVE SUBFLOOR	GC	GENERAL CONTRACTOR	RH	RIGHT HAND
BC	BOTTOM OF CURB	GL	GLASS	RO	ROUGH OPENING
BK	BOOK	GWB	GYPSTUM WALLBOARD	RT	ROUTE
BLDG	BUILDING	GALV	GALVANIZED	SF	SQUARE FEET
BLK	BLOCK	HDWR	HARDWARE	STA	STATION
BLKG	BLOCKING	HW	HOT WATER	STBK	SETBACK
BM	BEAM	ID	INTERIOR DIAMETER	SHWR	SHOWER
BSMT	BASEMENT	INSUL	INSULATION	SHT	SHEET
BTWN	BETWEEN	INT	INTERIOR	SMH	SEWER MANHOLE
CAB	CABINET	INV	INVERT	SS	STAINLESS STEEL
CB	CATCH BASIN	J-BOX	JUNCTION BOX	S/S CON	SERVE SERVE CONSOLE
CDX	CD PLYWOOD, EXT. GLUE	JT	JOINT	ST	STREET
CHIM	CHIMNEY	KO	KNOCK OUT	STL	STEEL
COL	COLUMN	LAM	LAMINATE	STD	STANDARD
CL	CLOSET	LAV	LAVATORY	SUBFL	SUBFLOOR
CL	CENTER LINE	LH	LEFT HAND	SW	SIDEWALK
CLG	CEILING	LOC	LOCATION	TC	TOP OF CURB
CMU	CONCRETE MASONRY UNITS	LT	LIGHT	T	TREAD
C/R	CASH REGISTER	LT'G	LIGHTING	TELE	TELEPHONE
CONC	CONCRETE	LVL	LAMINATED VENEER LUMBER	THK	THICK
CONST	CONSTRUCTION	MATL	MATERIAL	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	MAX	MAXIMUM	TOF	TOP OF FOOTING
DBL	DOUBLE	MDO	MEDIUM DENSITY OVERLAY PLYWOOD	TOP	TOP OF PIER
DET	DETAIL	MFG	MANUFACTURER	TOPL	TOP OF PLATE
DIA	DIAMETER	MH	MANHOLE	TOS	TOP OF SLAB
DMH	DRAIN MANHOLE	MIN	MINIMUM	TOSTL	TOP OF STEEL
DR	DOOR	MO	MASONRY OPENING	TOW	TOP OF WALL
DWG	DRAWING	MTD	MOUNTED	TYP	TYPICAL
EL	ELEVATION	MTL	METAL	UNO	UNLESS NOTED OTHERWISE
ELEC	ELECTRIC	NIC	NOT IN CONTRACT	UT POLE	UTILITY POLE
ENCL	ENCLOSURE	N/F	NOW OR FORMERLY	VB	VAPOR BARRIER
EX	EXISTING	NO	NUMBER	VCT	VINYL COMPOSITION TILE
EXIST	EXISTING	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
EXT	EXTERIOR	OC	ON CENTER	W	WASHER
FD	FLOOR DRAIN	OPG	OPENING	W/	WITH
FDN	FOUNDATION	OPT	OPTIONAL	WD	WOOD
FF	FINISHED FLOOR	P	PAGE	WIC	WALK-IN CLOSET
FIN	FINISH(ED)	PL	PLATE	WIND	WINDOW
FIXT	FIXTURE	PLAS	PLASTIC	WO	WALL OVEN
FL	FLOOR	PLWD	PLYWOOD	WWF	WELDED WIRE FABRIC
FO	FACE OF	PT	PRESSURE TREATED	<	ANGLE
FOF	FACE OF FRAMING	PL	PROPERTY LINE	CL	CENTERLINE
				Ø	DIAMETER
				□	RECTANGULAR



LOCUS MAP

DRAWING INDEX

SHEET NO.

T1 TITLE SHEET

SITE

- C1 EXIST SITE PLAN
- TS43 DEMOLITION PLAN
- D1 SITE PLAN
- TS22 TRAVEL PATH

BUILDING

- B1 FLOOR PLAN
- A2 ELEVATION
- E1 ELECTRICAL PLAN
- E1A EMERGENCY FIXTURE PLAN
- E2 REFLECTIVE CEILING PLAN
- P1 PLUMBING PLAN

- TS28 TRUSS SYSTEM
- L2 EXIST & PROPOSED CANOPY & SIGN ELEVATION

- M1 SECTIONS

MECHANICAL

DETAILS BY OTHERS

- HVAC BY MECHANICAL CONTRACTOR
- CANOPY ENGINEERING
- UNDERGROUND TANK
- FREE STANDING SIGN
- SITE LIGHTING PLAN

SAM'S FOOD

TITLE SHEET

FOR
90 MAIN STREET
LENOX, MA.

PROPERTY OWNER: SHANLEN REALTY CORP 90 MAIN STREET LENOX, MA.
 PROPERTY BUYER: CHUCK'S SAM'S FOOD STORES
 484 MAIN STREET
 OXFORD, MA. 01540-1231
 DOING BUSINESS AS SAM' FOOD STORES 90 MAIN STREET
 LENOX, MA. 01240-2308

APPLICANT: CONSULTING AND DESIGN L.L.C.
 P.O. BOX 258
 LEE, MA 01238
 (413) 243-4083

LOCAL BUILDING DEPT : TOWN OF LENOX
 LENOX TOWN HALL
 6 WALKER STREET
 LENOX, MA. 01240
 (413) 637-5500

BUILDING CODE: 9 TH. EDITION MASS. STATE BUILDING CODE-780 CMR
 2015 INTERNATIONAL BUILDING COD
 2015 INTERNATIONAL EXISTING BUILDING CODE

USE GROUP: MERCANTILE

CONSTRUCTION TYPE: 5A BOCA NATIONAL BUILDING CODE

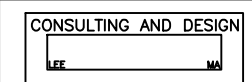
BUILDING AREA: 1,798 SQ. FT.

OCCUPANCY LOAD: 46

DESIGN CRITERIA: ROOF TRUSS - TC LIVE LOAD - 40 PSF.

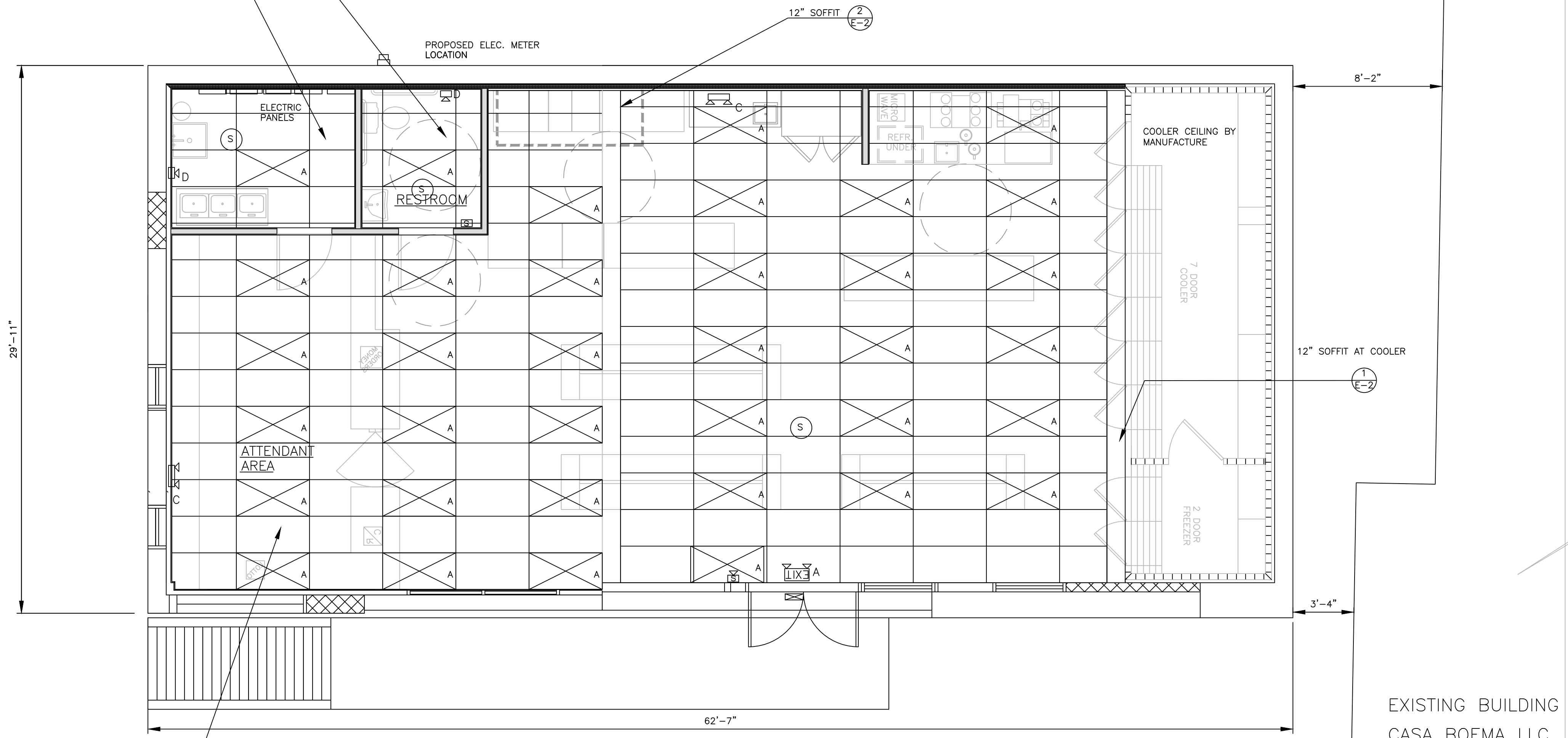
"CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PLANS AND SPECIFICATIONS OF THE PLAN SET AS WELL AS ALL APPROVAL DOCUMENTS FROM THE MUNICIPAL AND STATE AUTHORITIES."

DATE: 1/6/21
 SCALE: 1/4"=1'-0"
 DR. BY: SP
 FILE: 571101



RESTROOM
 8'-0" CEILING HEIGHT, 2'x4' SUSPENDED ACOUSTICAL CEILING TILES WITH A CLASS "A" NON-COMBUSTABLE FIRE RATING, SET IN A METAL T-GRID (SEE OWNER FOR COLOR). INSULATION AS REQUIRED (TYP)

UTILITY AREA & STORAGE
 9'-2" CEILING HEIGHT, 2'x4' SUSPENDED ACOUSTICAL CEILING TILES WITH A CLASS "A" NON-COMBUSTABLE FIRE RATING, SET IN A METAL T-GRID (SEE OWNER FOR COLOR). INSULATION AS REQUIRED (TYP)



29'-11"

12" SOFFIT (2)
E-2

PROPOSED ELEC. METER LOCATION

8'-2"

12" SOFFIT AT COOLER (1)
E-2

3'-4"

EXISTING BUILDING
CASA BOEMA LLC

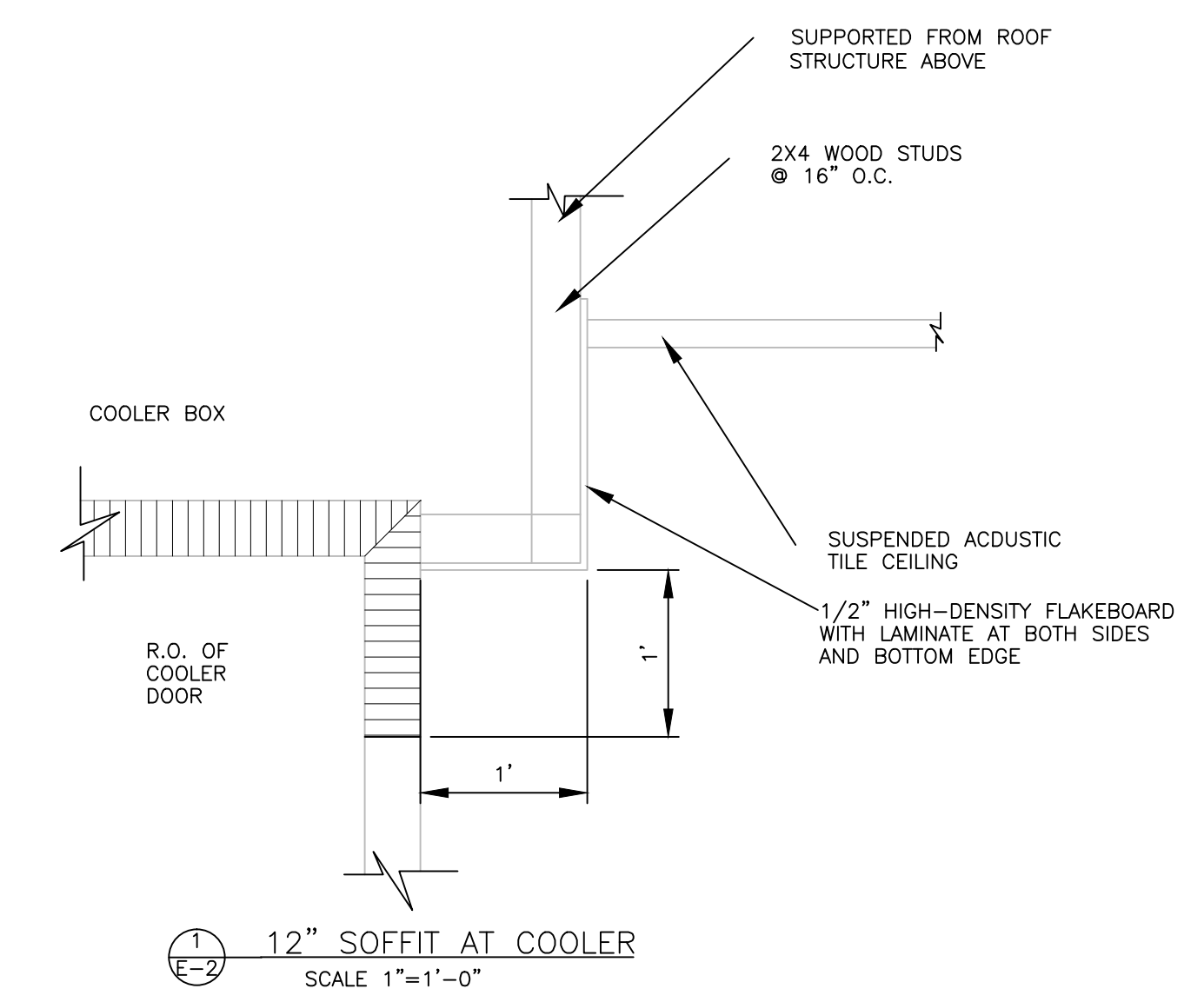
62'-7"

REFLECTED CEILING PLAN

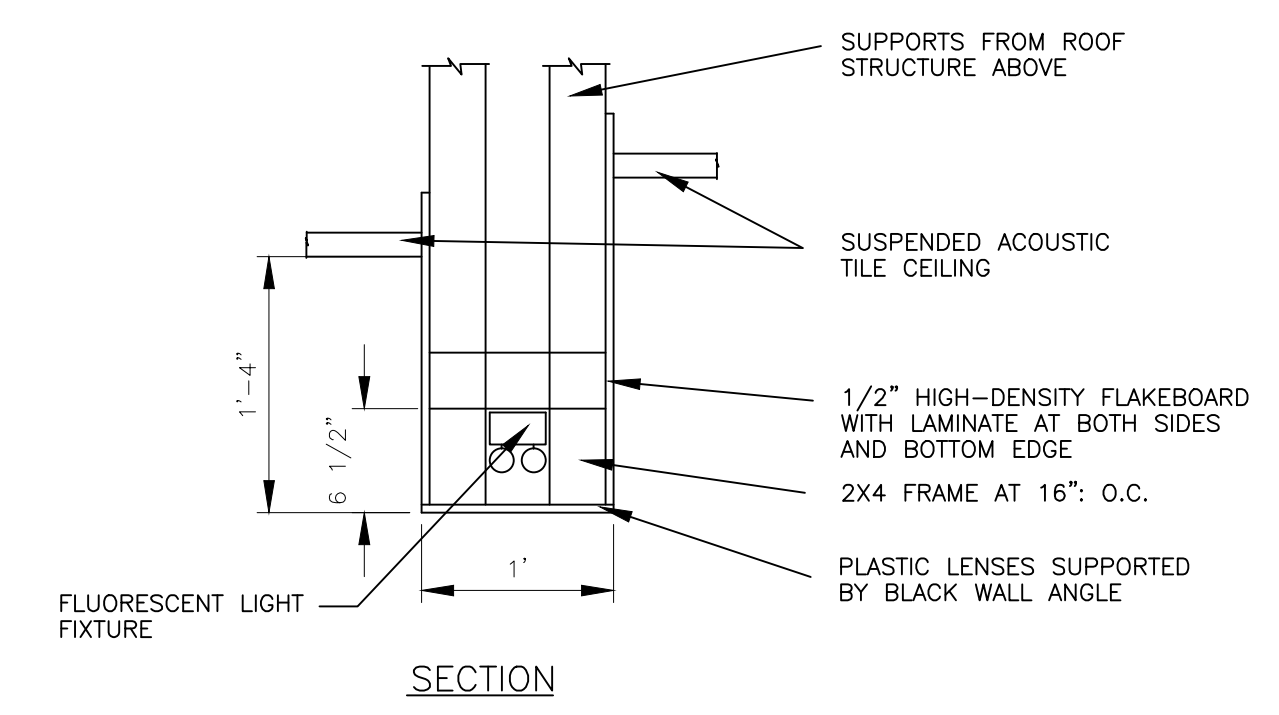
SCALE: 1/4"=1'-0"

ATTN.'S AREA/ SALES AREA
 9'-2" CEILING HEIGHT, 2'x4' SUSPENDED ACOUSTICAL CEILING TILES WITH A CLASS "A" NON-COMBUSTABLE FIRE RATING, SET IN A METAL T-GRID (SEE OWNER FOR COLOR). INSULATION AS REQUIRED (TYP)

REFLECTED CEILING NOTES
 1. EXCEPT WHERE INDICATED ON PLAN, ALL CEILINGS TO BE 2' X 4' SUSPENDED GRID ACOUSTIC TILE WITH CLASS "A" NON-COMBUSTIBLE FIRE RATING, SET IN A METAL T-GRID, AT A FINISHED HEIGHT OF 9'-2".



12" SOFFIT AT COOLER (1)
E-2
SCALE 1"=1'-0"



12" SOFFIT (2)
E-2
SCALE 1"=1'-0"

SAM'S FOOD

REFLECTIVE CEILING PLAN
 FOR
 90 MAIN STREET
 LENOX, MA.

DATE: 1/6/21
 SCALE: 1/4"=1'-0"
 DR. BY: SP
 FILE: 571101

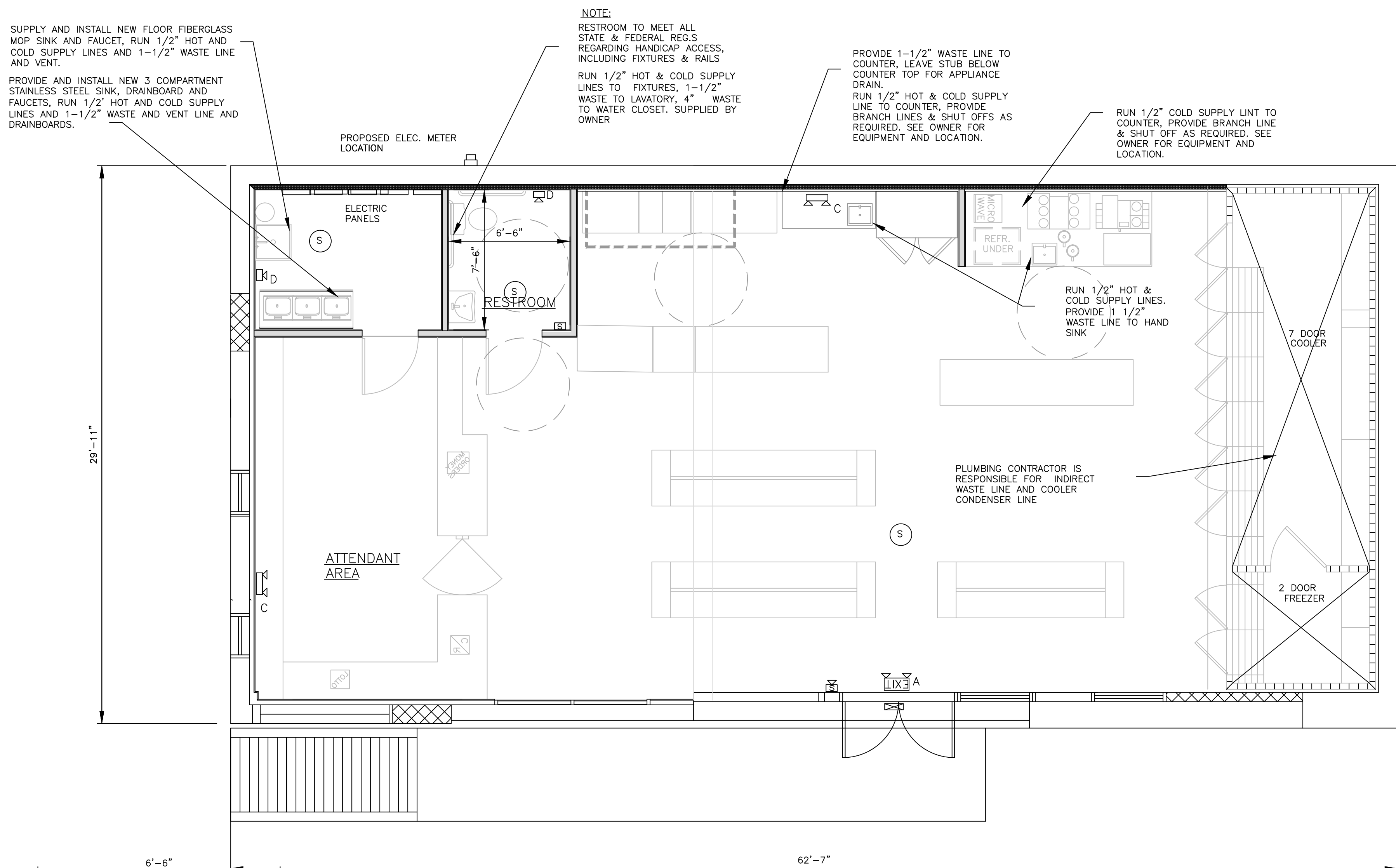
CONSULTING AND DESIGN
 LEE MA

E-2

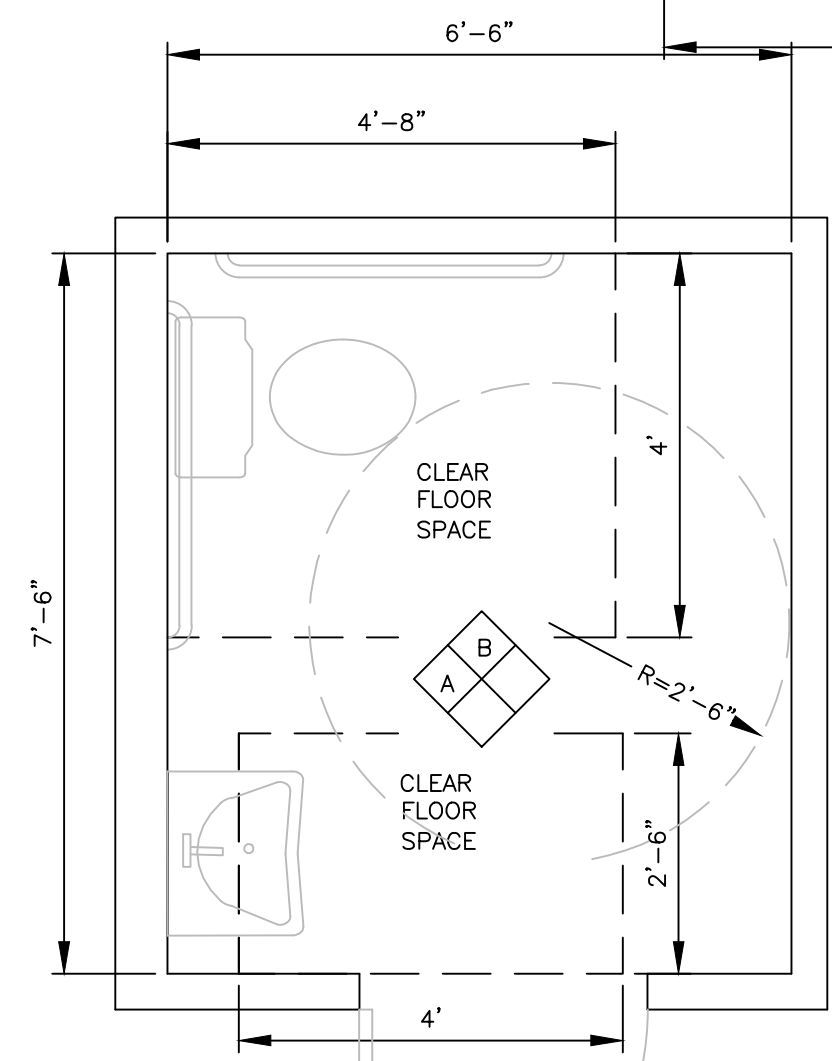
PLUMBING NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND ACCESSORIES NECESSARY FOR A COMPLETE OPERATIONAL INSTALLATION.
- THE CONTRACTOR SHALL GIVE ALL REQUIRED NOTICES, COMPLY WITH ALL THE NECESSARY CODES, FILE ALL REQUIRED DRAWINGS WITH THE PROPER AUTHORITIES AND SECURE ALL APPROVALS, PERMITS AND PAY ALL FEES BEFORE INSTALLATION OF WORK.
- CONTRACTOR SHALL GUARANTEE THE QUALITY OF ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FURNISHED AND INSTALLED BY HIM FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THIS INSTALLATION AND REPLACE ALL DEFECTIVE APPARATUS AND MATERIALS WITH EQUIPMENT AT HIS OWN EXPENSE.
- INSTALLER MUST EXAMINE THE AREAS AND CONDITIONS UNDER WHICH ALL FIXTURES AND RESTROOM ACCESSORIES ARE TO BE INSTALLED AND NOTIFY THE CONTRACTOR AND/OR OWNER OF CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK.
- ALL WORK TO BE TESTED IN PRESENCE OF PLUMBING INSPECTOR. PLUMBING INSPECTOR TO BE NOTIFIED TWO DAYS PRIOR TO TESTS BEING PERFORMED.
- GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL LAVATORIES, SINKS, WATER CLOSETS WITH FAUCETS AND FITTINGS, ALSO SUPPLY AND WASTE LINES WITH REQUIRED CONNECTIONS AS REQUIRED BY LOCAL CODE, AND/OR OWNERS DRAWINGS AND SPECIFICATIONS.
- ALL WATER LINES BELOW FLOOR TO BE TYPE K WITH NO JOINTS AND INSULATED WITH 3/8" ARMAFLEX INCLUDING FLOOR PENETRATIONS. ALL SUPPLY LINES ABOVE THE FLOOR TO BE TYPE L COPPER WITH WROUGHT FITTINGS AND LEAD FREE SOLDER.
- BALL VALVES TO BE INSTALLED ON ALL FIXTURES.
- GENERAL CONTRACTOR TO MAKE ALL CLEANOUTS ACCESSIBLE FOR OUTSIDE INSPECTION.
- WASTE AND VENT LINES TO BE PVC SCHEDULE 40 PIPE AND FITTINGS UNLESS OTHERWISE NOTED, PER BUILDING CODE REQUIREMENTS.
- ALL FLOOR SINKS TO RECEIVE MIN. 2" DIA. VENTS. VENT LINE MUST BE LOCATED WITHIN 5'-0" HORIZONTAL DISTANCE FROM CONNECTION AT SINK TO ROOF SURFACE AND BE PROPERLY FLASHED.
- NO JOINTS ALLOWED IN COPPER PIPING BELOW CONCRETE FLOOR.
- INSULATED SLEEVES TO BE INSTALLED AT ALL AREAS WHERE COPPER LINES PROJECT THROUGH CONCRETE FLOOR AND MADE WEATHER TIGHT WITH PROPER SEALANT.
- EXTERIOR HOSE BIBS WILL BE FURNISHED AND INSTALLED BY PLUMBER WHEN SHOWN ON GENERAL LAYOUT PLAN.
- ALL PLUMBING WORK TO CONFORM TO THE CURRENT NATIONAL STANDARD PLUMBING CODE.
- NEW FILTER SYSTEM (EVERPURE MOD CRS 9330-43 FILTER SYSTEM OR EQUAL) AND OLD WATER CONNECTIONS TO ICE MAKER (SEE LOCATION) TO BE INSTALLED. PROVIDE BRANCH LINES AND GATE VALVES FOR ALL REQUIRED EQUIPMENT ON COUNTER (I.E., COFFEE BREWER, SOFT DRINK DISPENSERS, ETC.). SEE EQUIPMENTS SPECS. FOR SPECIFIC REQUIREMENTS AND SEE OWNER FOR SPECIFIC LOCATIONS.
- RESTROOM TO MEET ALL STATE AND LOCAL CODES FOR HANDICAP RESTROOM. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING DEPARTMENT.
- CEILING FAN IN THE RESTROOM TO VENT TO EXTERIOR. (SUPPLIED BY OWNER)
- CROSS CONTAMINATION BACK FLOW PREVENTERS ARE REQUIRED ON WATER SYSTEM. BACK FLOW PROTECTION SHALL BE DOUBLE CHECK VALVE WITH SMALL EXPANSION TANK.
- COOLER CONDENSATE LINE PLUMBING CONTRACTOR RESPONSIBLE FOR INDIRECT WASTE LINE
- ALL DESIGNATED HAND-WASHING SINKS MUST BE SUPPLIED WITH HAND-CLEANSING SOAP AND PAPER TOWELS AT ALL TIMES.
- THREE-COMPARTMENT SINK KITCHENWARE SHALL BE WASH IN THE FIRST COMPARTMENT, RINSED IN THE SECOND, SANITIZED BY AN APPROVED CHEMICAL ADDITIVE IN THE THIRD AND AIR DRIED ON A DRAIN BOARD. A SIGN STATING THE THREE-COMPARTMENT SINK PROCEDURES IS TO BE POSTED DIRECTLY ABOVE THE AREA.
- MOP SINK IS PROVIDED FOR USE OF CLEANING MOPS AND FOR THE DISPOSAL OF MOP WATER OR SIMILAR LIQUID WASTES.
- TOILET FACILITIES WITH LEGIBLE SIGNS SHALL BE CONSPICUOUSLY POSTED DIRECTING EMPLOYEES TO WASH THEIR HANDS BEFORE RETURNING TO WORK

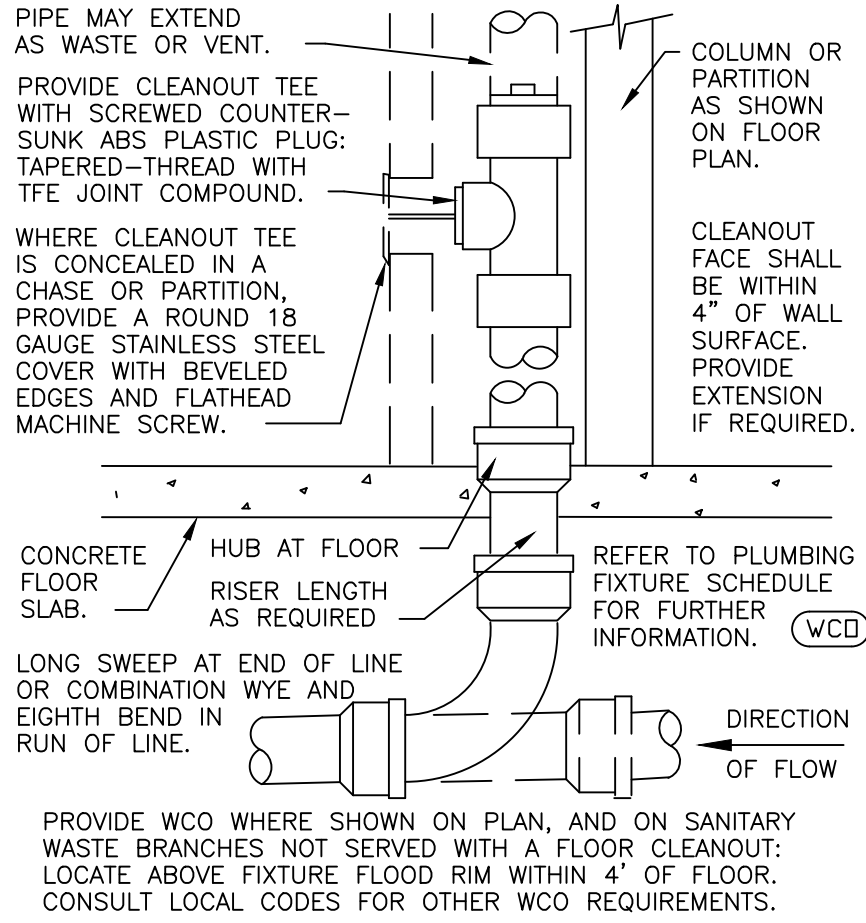
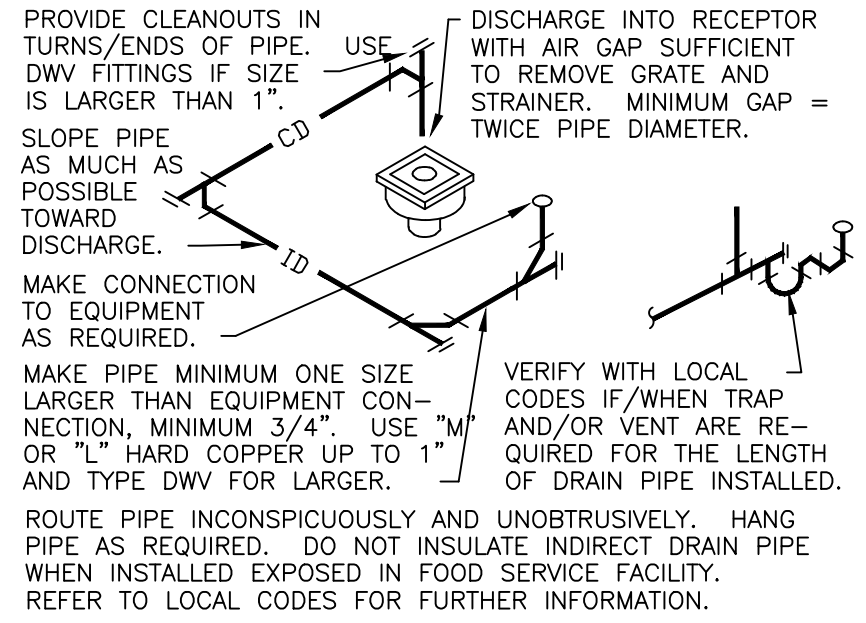
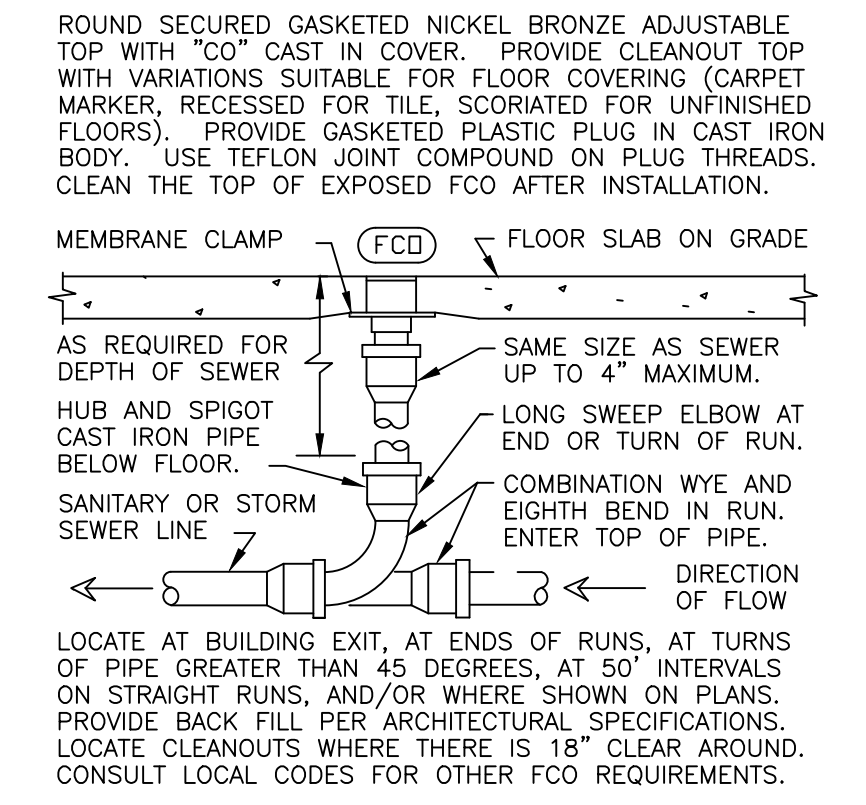
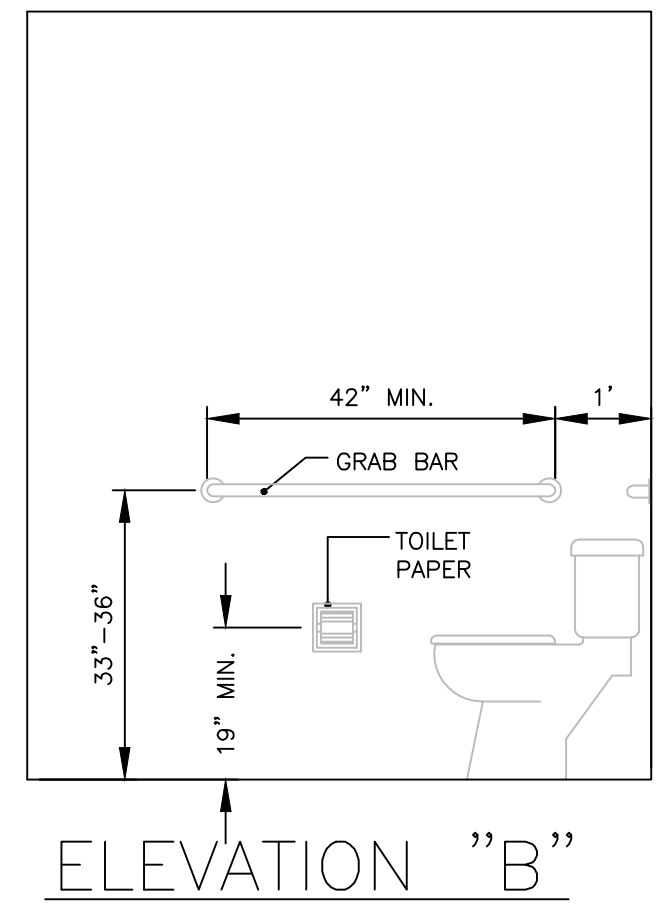
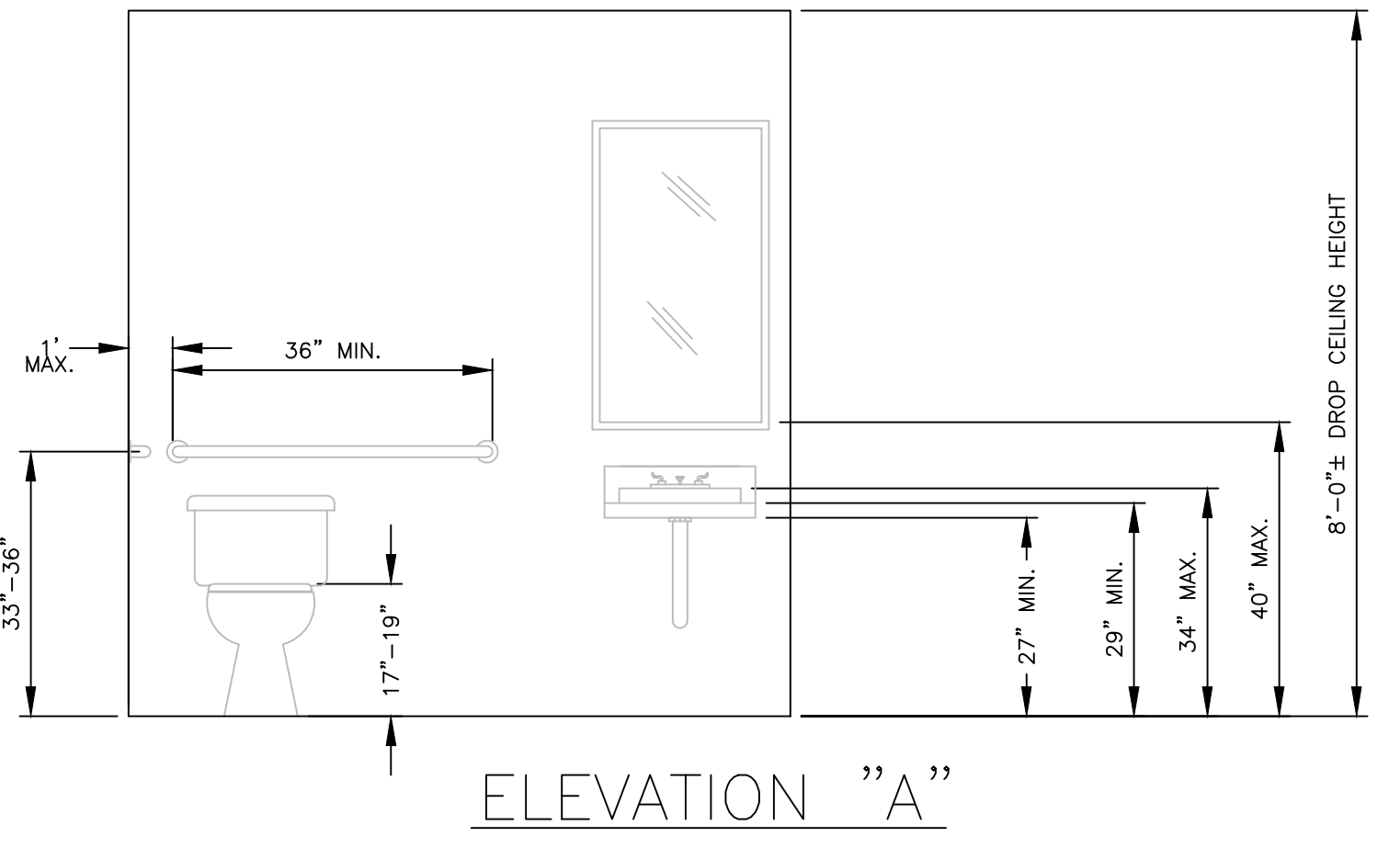
INSTALL IN LINE WATER FILTER, SEE OWNER FOR SIZE AND TYPE (LINE TO COFFEE BREWER, SOFT DRINK DISPENSERS AND ICE MAKER ETC.).
VERIFY METER LOCATION WITH ALL INTERESTED PARTIES INCLUDING ELECTRICIAN, PLUMBER, OWNER, COOLER MANUFACTURER, AND CODE ENFORCEMENT.
HOT WATER HEATER SEE OWNER FOR TYPE, SIZE AND LOCATION



PLUMBING PLAN
SCALE: 1/4"=1'-0"



NOTE: SEE PROPOSED RESTROOM LAYOUT/ USE THE RESTROOM ELEVATIONS FOR HEIGHT AND CLEARANCES.



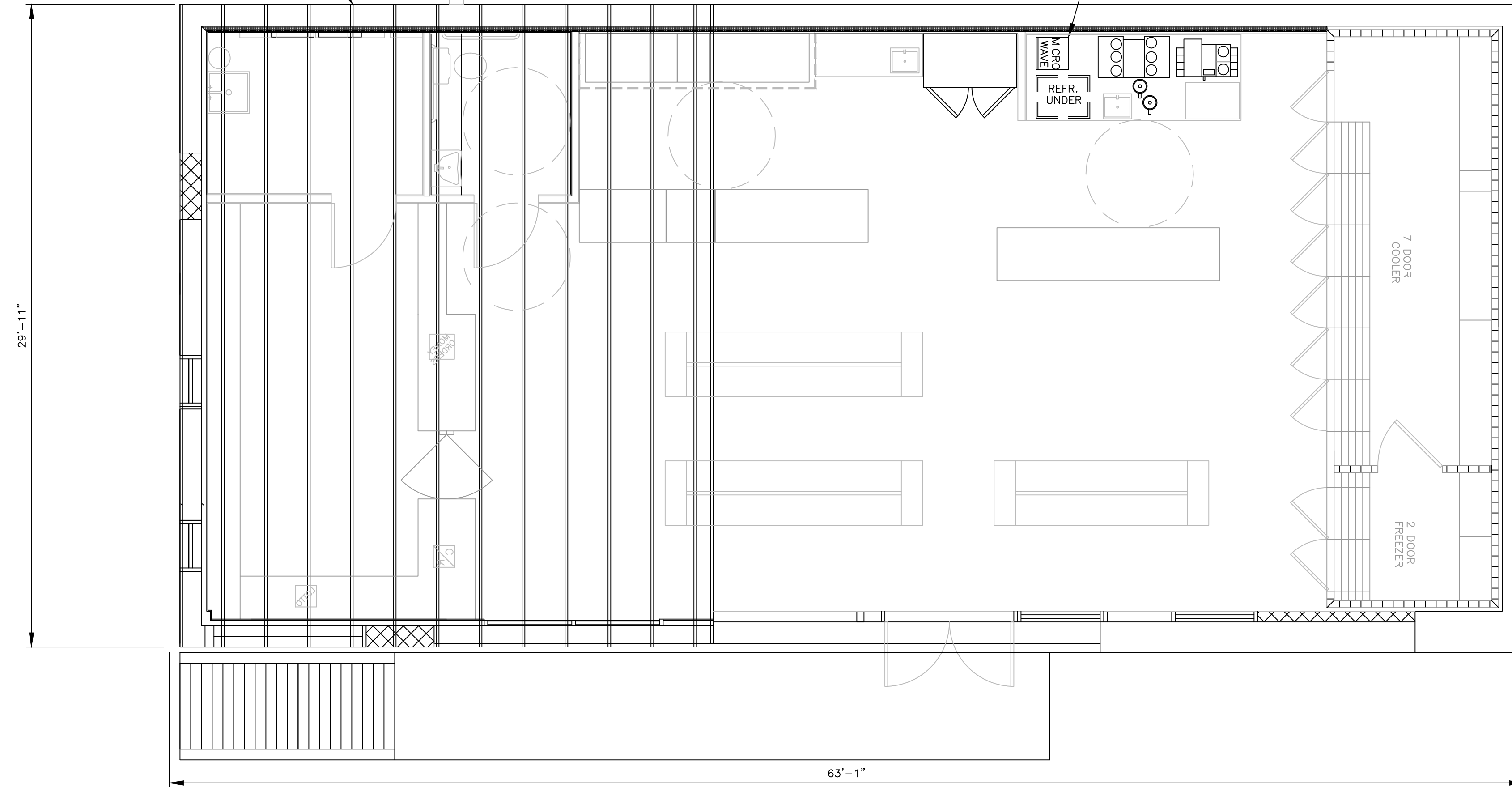
SAM'S FOOD

PLUMBING PLAN
FOR
90 MAIN STREET
LENEX, MA.

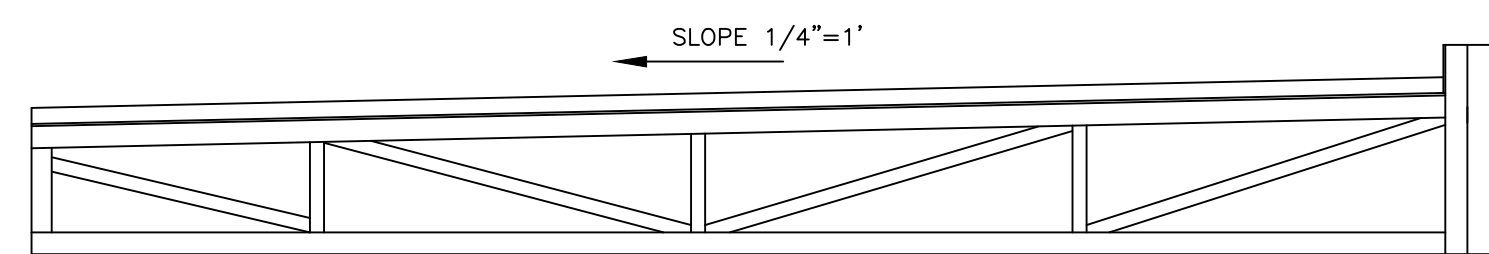
DATE: 1/6/21	CONSULTING AND DESIGN	P-1
SCALE: 1/4"=1'-0"		
DR. BY: SP	LEE	MA
FILE: 571101		

REMOVE PORTION OF EXIST ROOF
INSTALL NEW TRUSSES @ 2. O.C.

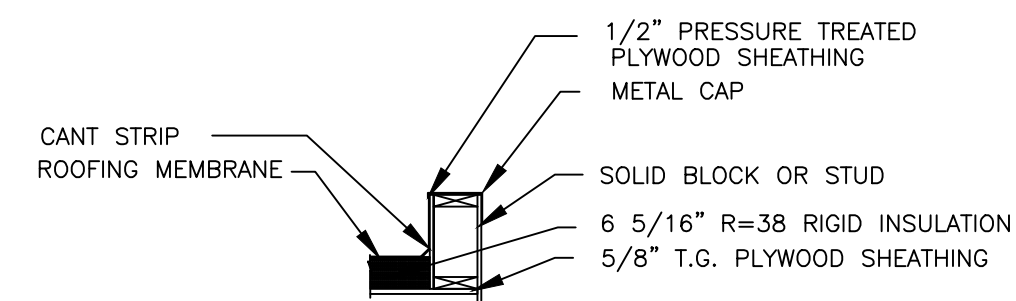
EXIST ROOF OVER BAY AREA
TO REMAIN



EXISTING BUILDING
CASA BOEMA LLC



WOOD TRUSS SYSTEM ENGINEERING BY OTHERS



EXTRUDED POLYSTYRENE
(RIGID BOARDS) 4.0-6.0
R- PER 1 IN. THICKNESS
38 DIVIDED BY 6 = 6 5/16" FOR R-38

PARAPET DETAIL
NOT TO SCALE

SAM'S FOOD

TRUSS SYSTEM

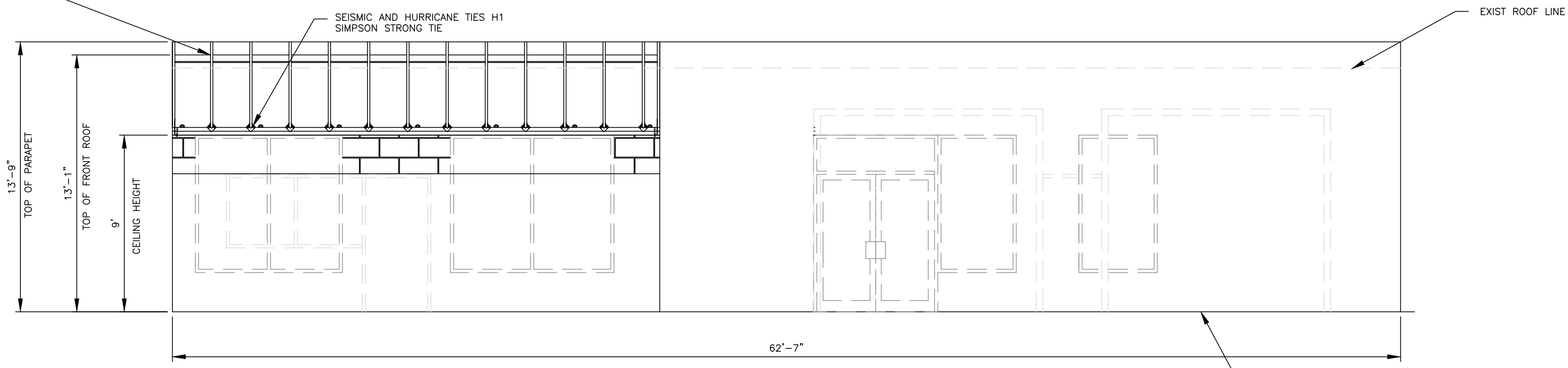
FOR
90 MAIN STREET
LENOX, MA.

DATE: 1/6/21
SCALE: 1/4"=1'-0"
DR. BY: SP
FILE: 571101

CONSULTING AND DESIGN
LEE MA

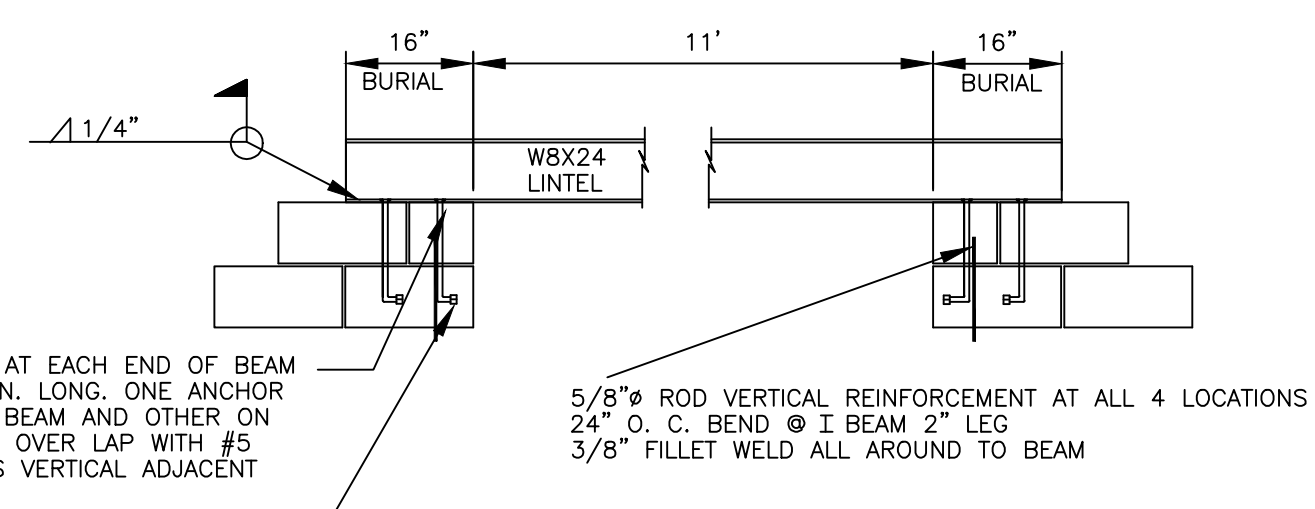
TS-
28

INSTALL NEW MANUFACTURED TRUSSES OVER NEW ATTENDANT, SALES AREA & JOIN INTO EXIST



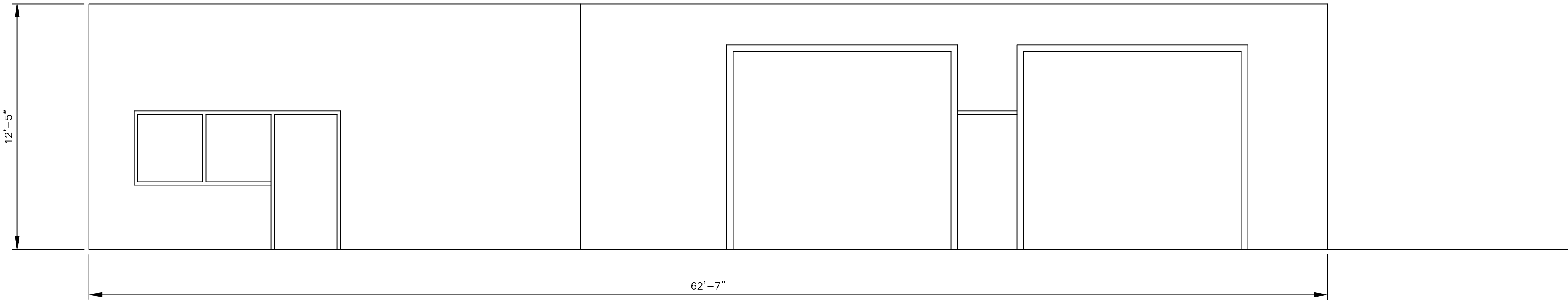
PROPOSED FRONT VIEW

CONTRACTOR TO VERIFY FROST WALL AND FOOTING UNDER BAY DOORS. INSTALL IF NECESSARY



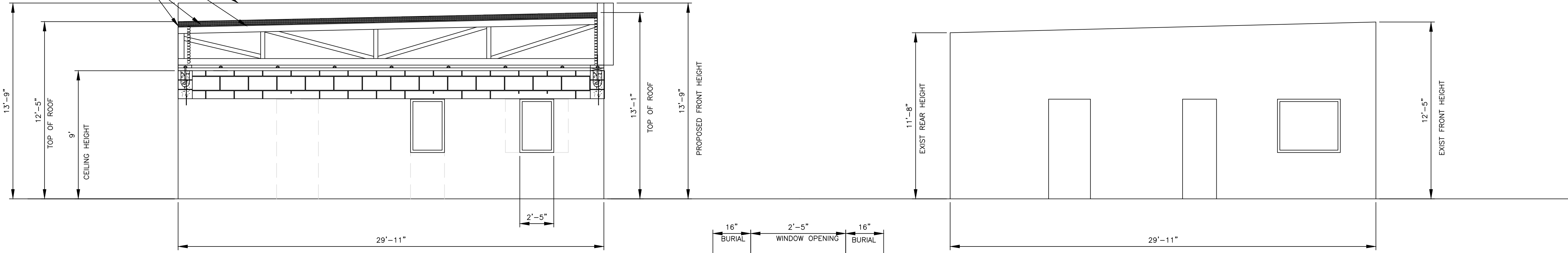
2 ANCHOR POINTS AT EACH END OF BEAM
 5/8" ROD 22" MIN. LONG, ONE ANCHOR ON NEAR SIDE OF BEAM AND OTHER ON FAR SIDE OF BEAM OVER LAP WITH #5 REBAR CONTINUOUS VERTICAL ADJACENT TO ALL OPENING.
 5/8" ROD VERTICAL REINFORCEMENT AT ALL 4 LOCATIONS
 24" O. C. BEND @ I BEAM 2" LEG
 3/8" FILLET WELD ALL AROUND TO BEAM
 FILL 8" BLOCK SOLID BOTH ENDS AND SIDES

BAY DOORS
 NOT TO SCALE



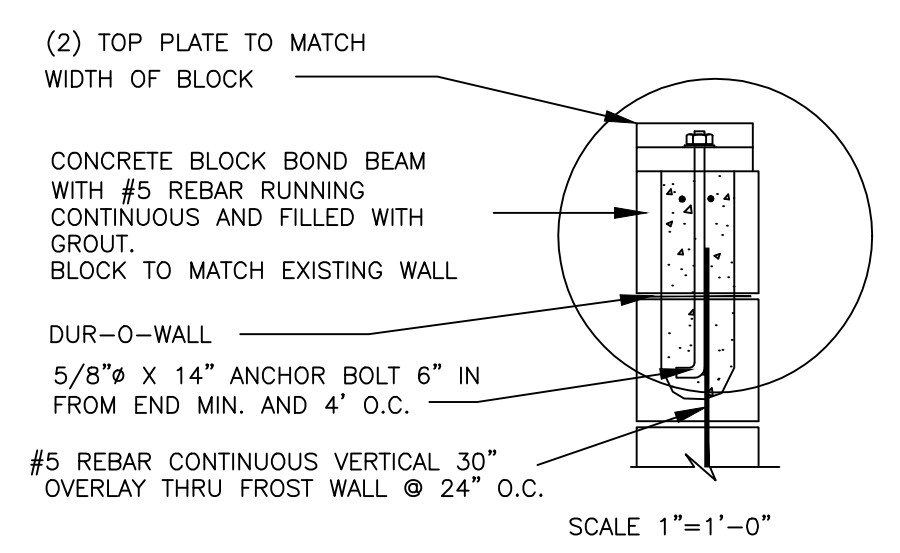
EXIST FRONT VIEW

PARAPET
 PRE - MANUFACTURED TRUSSES @ 2' O.C. ENGINEERING BY TRUSS MANUFACTURE
 4" R=30 RIGID INSULATION
 5/8" T.G. PLYWOOD SHEATHING

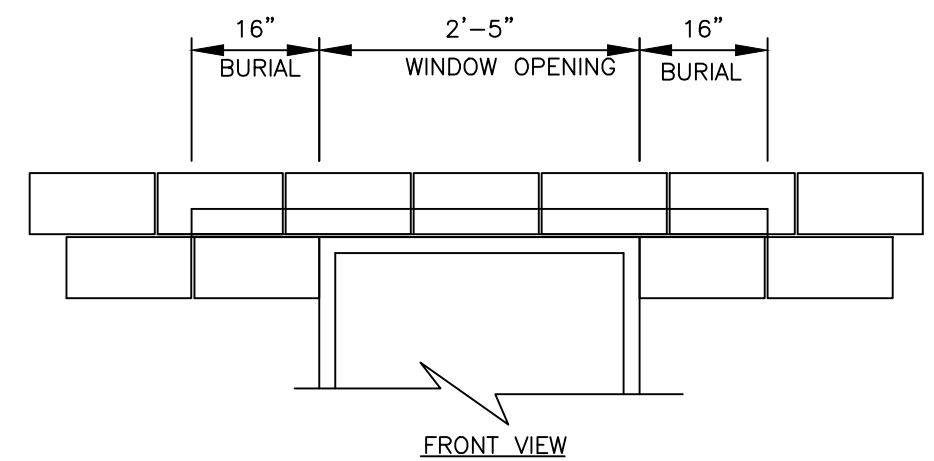


PROPOSED RIGHT SIDE VIEW

EXIST RIGHT SIDE VIEW



(2) TOP PLATE TO MATCH WIDTH OF BLOCK
 CONCRETE BLOCK BOND BEAM WITH #5 REBAR RUNNING CONTINUOUS AND FILLED WITH GROUT. BLOCK TO MATCH EXISTING WALL
 DUR-O-WALL
 5/8" X 14" ANCHOR BOLT 6" IN FROM END MIN. AND 4" O.C.
 #5 REBAR CONTINUOUS VERTICAL 30" OVERLAY THRU FROST WALL @ 24" O.C.
 SCALE 1"=1'-0"



FRONT VIEW
 CONCRETE BLOCK
 CONCRETE BLOCK
 (2) 3 1/2"X3 1/2"X3/8" STEEL ANGLE
 CONCRETE BLOCK

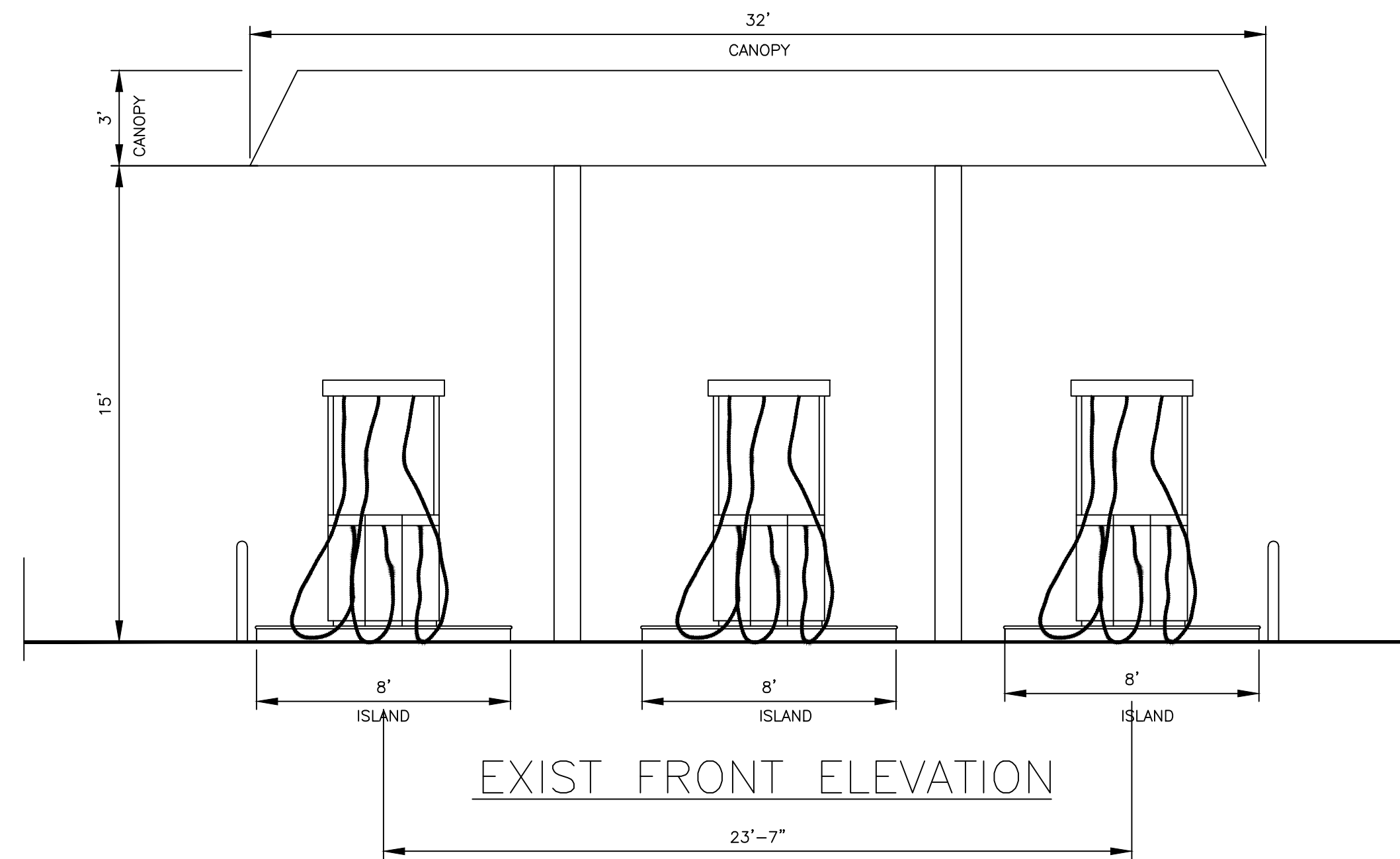
END VIEW
 WINDOW LINTEL DETAIL
 NOT TO SCALE

SAM' FOOD

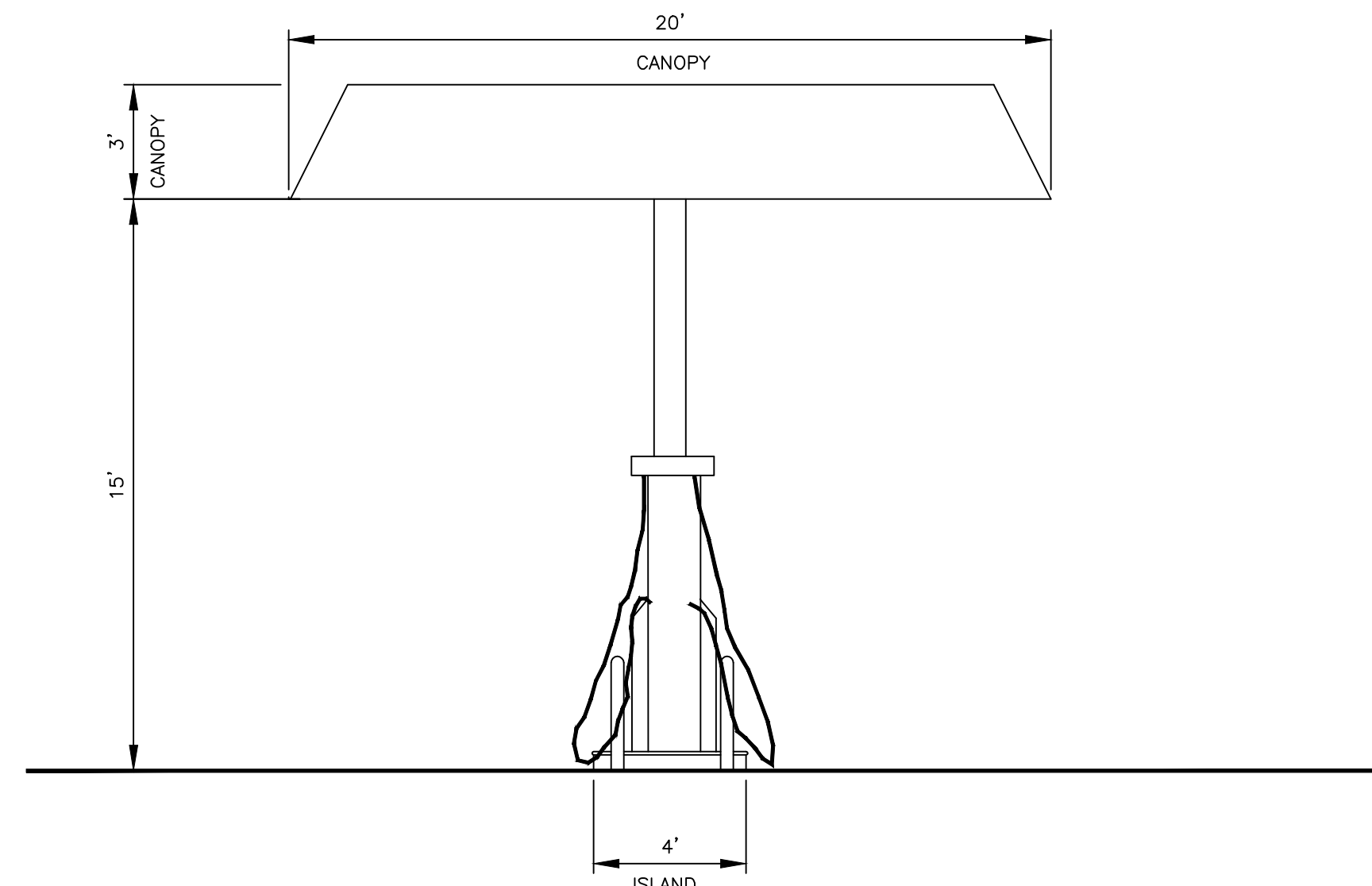
SECTIONS
 FOR
 90 MAIN STREET
 LENOX, MA.

DATE: 1/6/21
 SCALE: 1/4"=1'-0"
 DR. BY: SP
 FILE: 571101

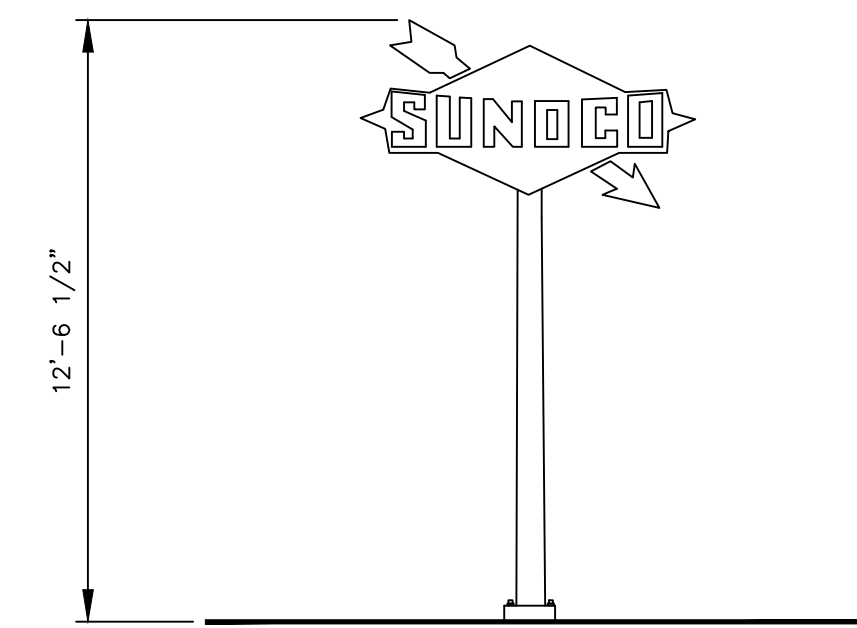
CONSULTING AND DESIGN
 LEE MA



EXIST FRONT ELEVATION

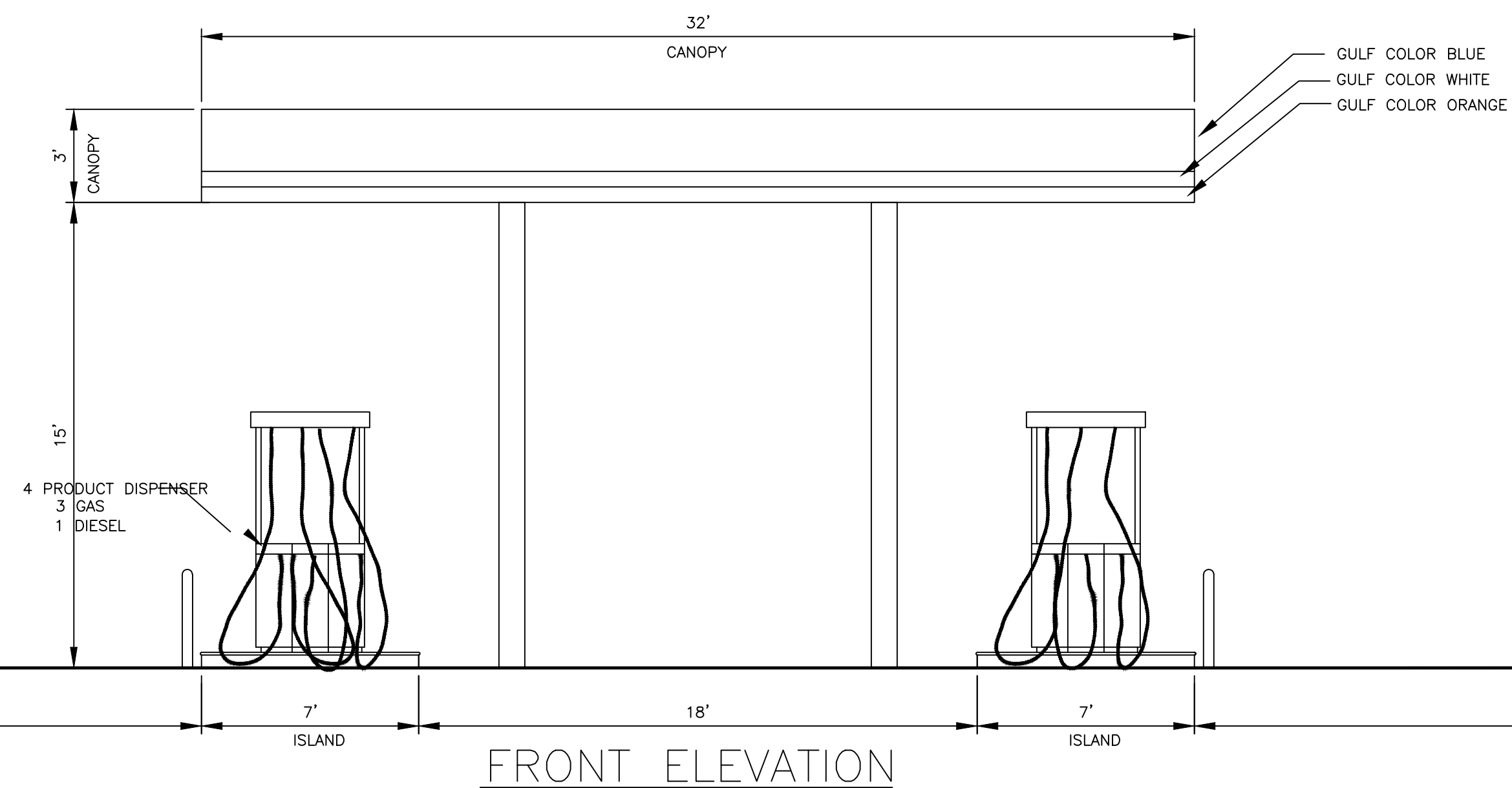


EXIST LEFT & RIGHT ELEVATION

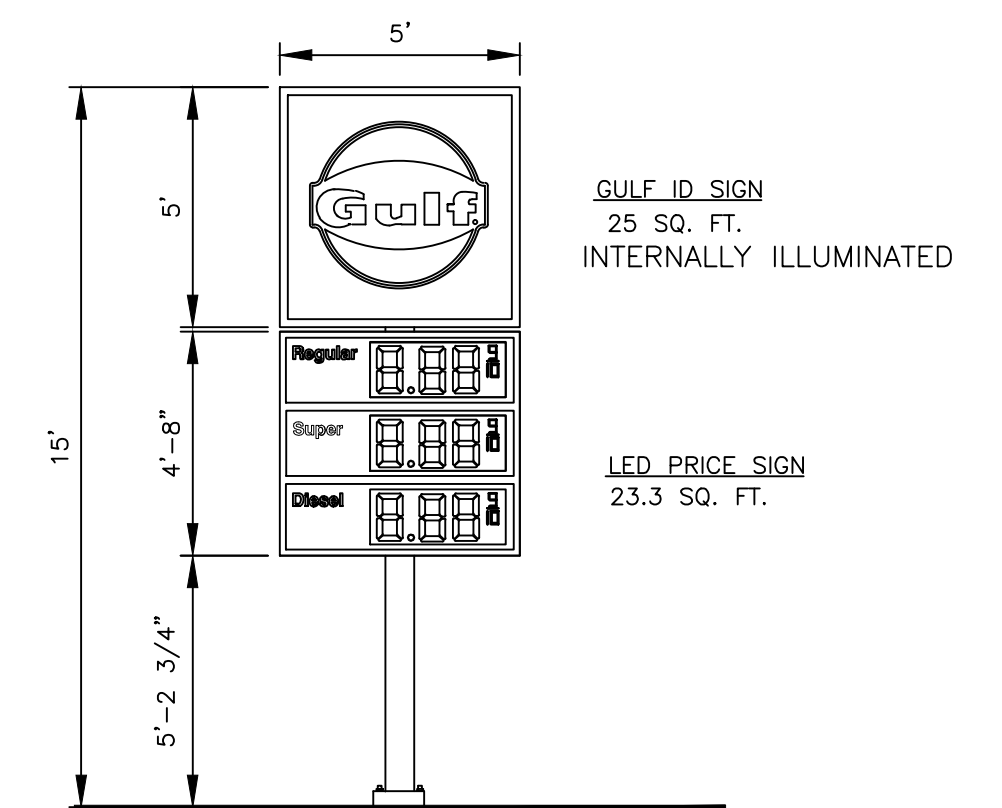


EXIST FREE-STANDING SIGN

12.8 SQ. FT. TOTAL
INTERNALLY ILLUMINATED

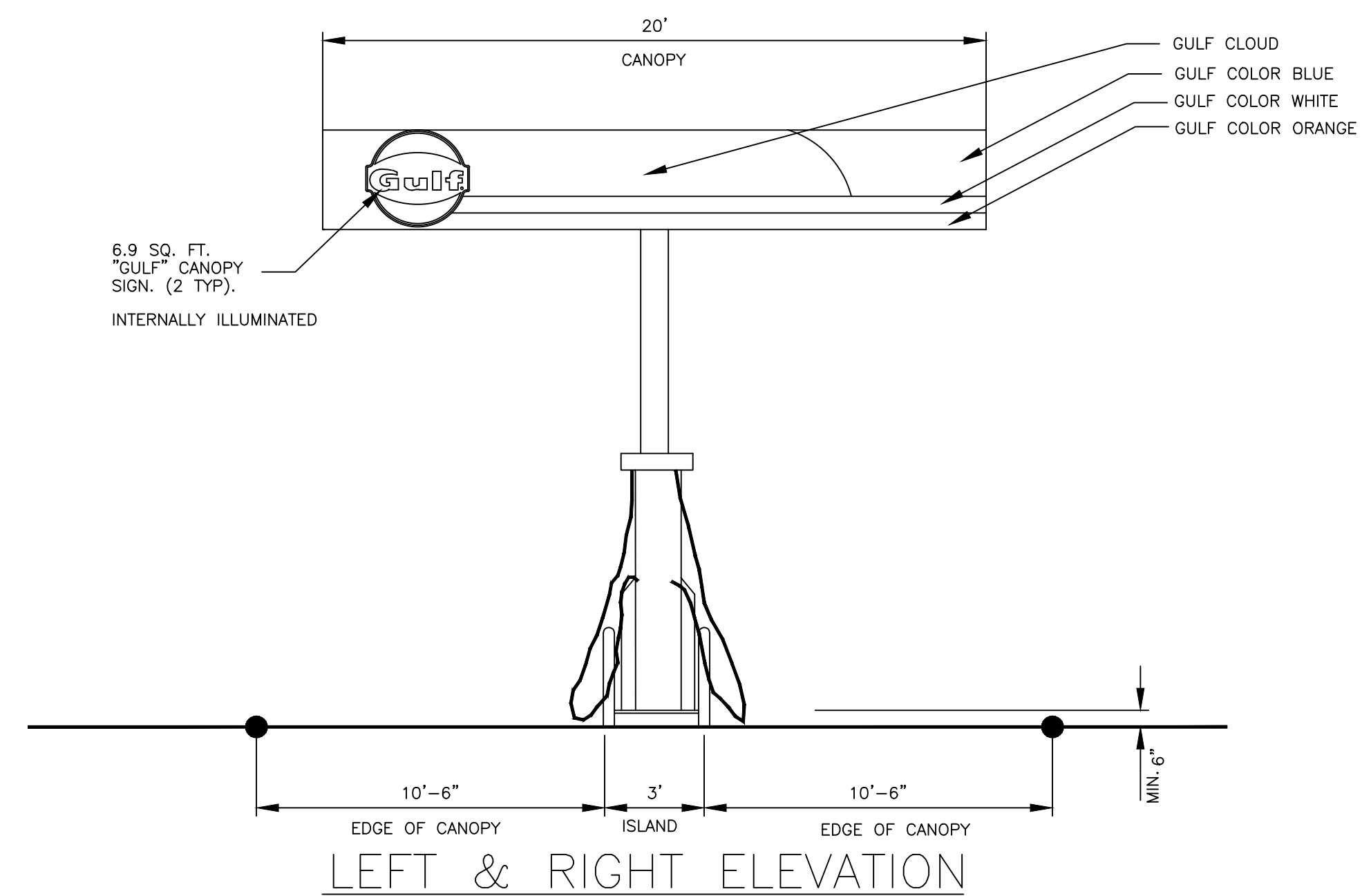


FRONT ELEVATION



PROPOSED FREE-STANDING SIGN

48.3 SQ. FT.



LEFT & RIGHT ELEVATION

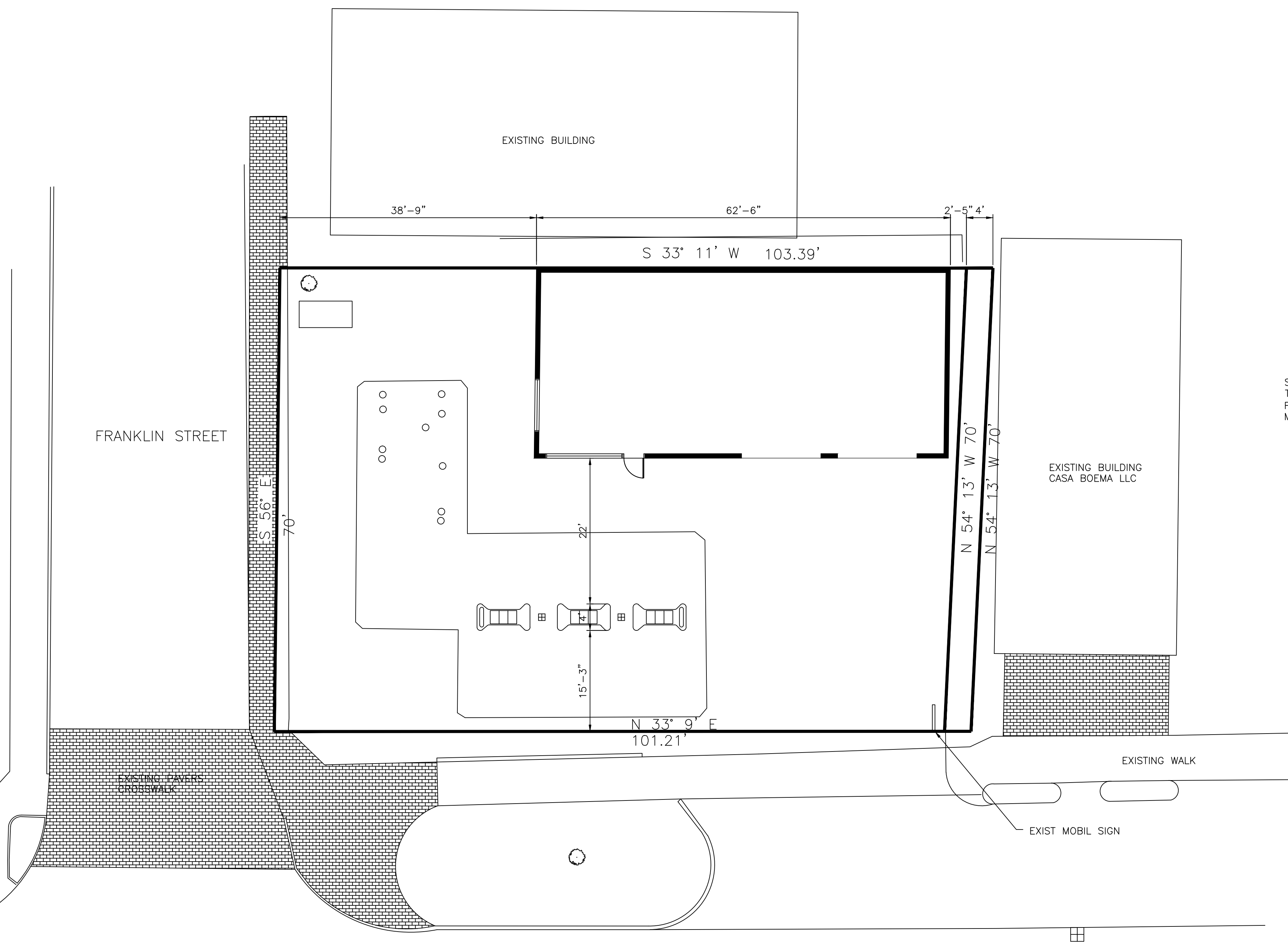
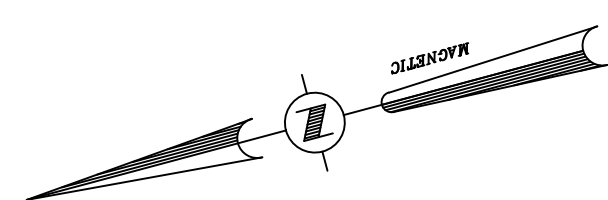
SAM'S FOOD

CANOPY ELEVATION

FOR
90 MAIN STREET
LENOX, MA.

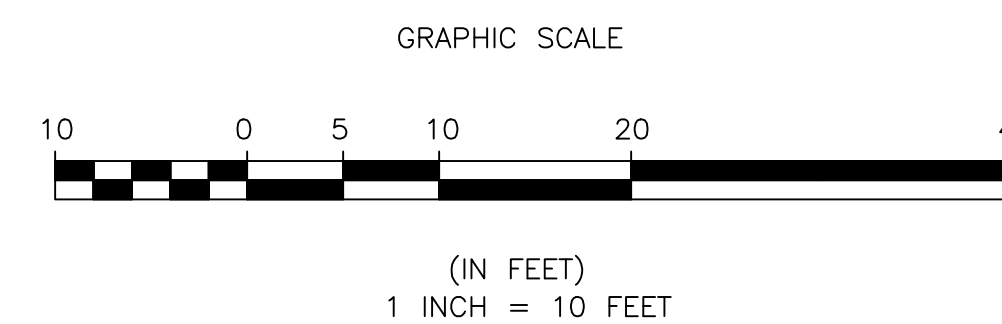
DATE: 1/6/21
SCALE: 1/4"=1'-0"
DR. BY: SP
FILE: 571101

CONSULTING AND DESIGN
LEE MA



SURVEY DATA TAKEN FROM PLAN TITLED
 TRAFFIC MANAGEMENT PLAN PREPARED
 FOR HOFF'S MOBIL LOCATED AT 90
 MAIN STREET LENOX, MA.

MAIN STREET



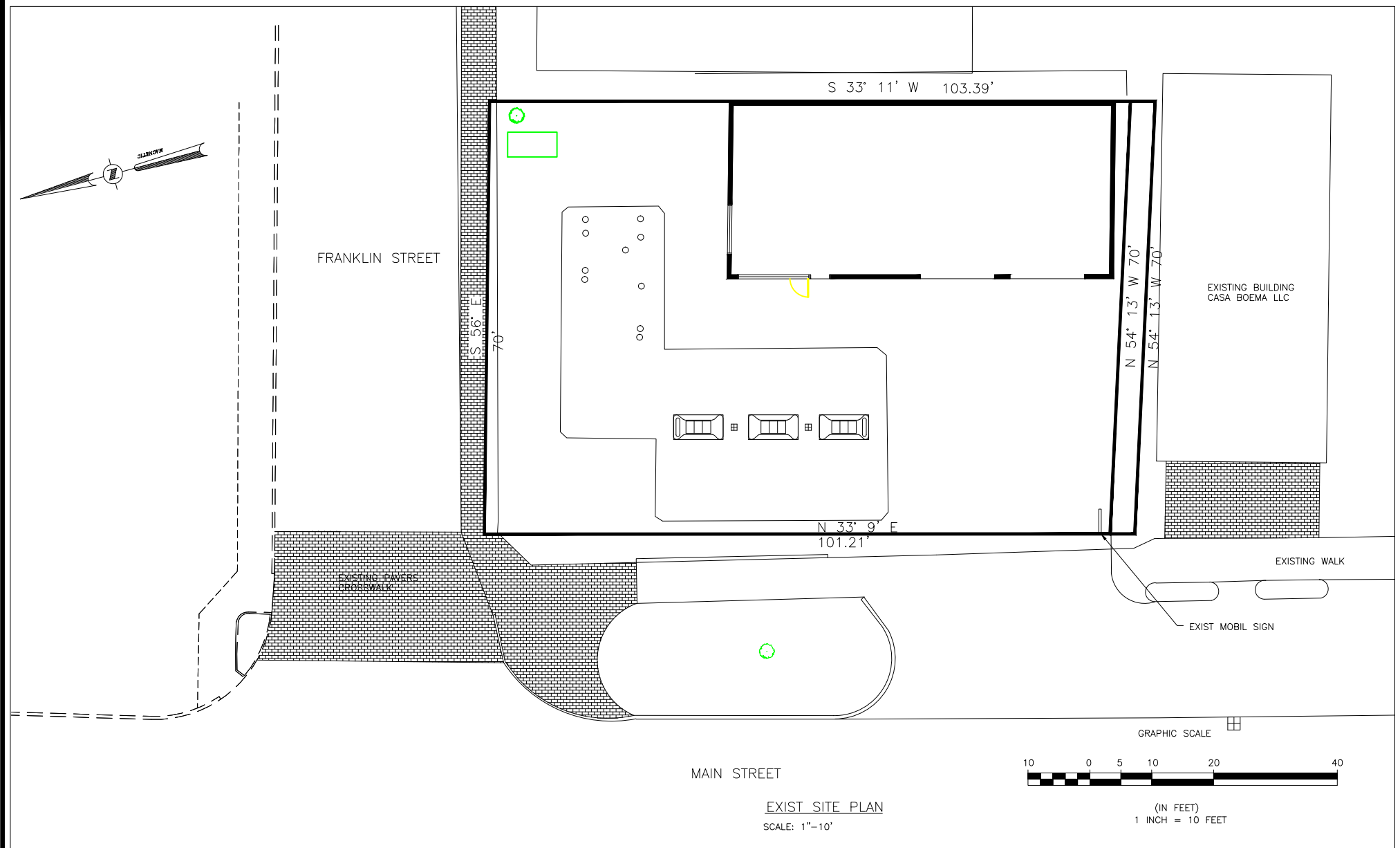
SAM'S FOOD

EXIST SITE PLAN
 FOR
 90 MAIN STREET
 LENOX, MA.

DATE: 1/6/21
 SCALE: 1"=10'-0"
 DR. BY: SP
 FILE: 571101

CONSULTING AND DESIGN
 LEE MA

C-1



DISCONNECTS:

DEMO CONTRACTOR AND / OR BY CONTRACT ALL DEMO DISCONNECTS TO BE PROPERLY DISCONTINUED AND DOCUMENTED ON PLANS AND PHOTOGRAPHED. ELECTRIC, WATER, GAS AND ETC. TO BE PROTECTED FOR REUSE.

DEMOLITION NOTE:

PRIOR TO DEMOLITION AND OR CONSTRUCTION, CONTRACTOR SHALL CALL "DIG-SAFE" 1-811 AND HAVE ALL UTILITIES MARKED ON THE GROUND. REMOVE ALL FOUNDATIONS AND FLOOR SLABS. REMOVE ALL BUILDING MATERIAL, CONDUITS, SEPTIC PIPING AND COMPONENTS DRAIN PIPES. NOTE ALL UTILITY ON PLAN PER. CITY/TOWN SPEC.

CAUTION NOTES:

ENVIRONMENTAL CONSULTANT RESPONSIBLE FOR PRE OVERVIEW OF NEED RE. ANY CONTAMINATED SOILS. IF DAMAGE TO ANY REMAINING UNKNOWN UNDERGROUND TANKS BY IMPROPER DISCONNECTING REMOVAL FOR ANY REASON OF PRIMARY LINES/VENTS CAUSING LEAKING AND WIRING WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR./DEMO CONTRACTOR.

HAZARD MATERIALS NOTE:

- INSPECTION SERVICE USING A LIST OF SUSPECTED MATERIALS, WILL COLLECT, ANALYZE COLLECTED SAMPLES FOR THE PRESENTS OF HAZARD MATERIAL AND REPORT THE FINDINGS.
- CONTRACT WITH A LICENSED ABATEMENT COMPANY TO REMOVE AND DISPOSE OF SAID MATERIAL TO MEET LOCAL, STATE AND FEDERAL GUIDELINES.
- THEN SITE WILL BE RE-INSPECTED BY INSPECTION SERVICE TO PROVIDE CLEARANCE AIR TESTING PRIOR TO DEMOLITION.
*ALLOW A MINIMUM OF (1) ONE MONTH.
SEE OWNERS CONTRACT.

BACK FILLING:

- PROVIDING OF BACKFILL.
- ANY BACKFILL TO BE COMPACTED.
- DO NOT MIX LOAM WITH OTHER SOIL TYPES.

BACKFILL REQUIREMENTS

CONTROLLED STRUCTURAL FILL SHOULD BE PLACED IN THE FOLLOWING APPLICATION

- UNDER ALL FLOOR SLABS TO A MINIMUM THICKNESS OF 12 INCHES
- AS A SUB BASE COURSE UNDER PAVED AREAS FOR A THICKNESS OF NOT LESS THAN 12 INCHES
- AROUND ALL UNDERGROUND UTILITIES SUBJECT TO TRAFFIC LOADING
- SUB GRADE LAYER SHOULD DE PROOF-ROLLED BEFORE PLACEMENT OF FOOTINGS OR STRUCTURAL FILL.
- STRUCTURAL FILL SHOULD BE SPREAD IN LOOSE LIFTS NOT EXCEEDING 12 INCHES
- STRUCTURAL FILL SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY DETERMINED BY THE TEST DESIGNATED ASTM D1557

GENERAL NOTES

- GENERAL CONTRACTOR, DEMO CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL ABOVE GRADE AND BELOW GRADE BUILDING MATERIALS, PIPES, CONDUITS, STUMPS, AND DEBRIS FROM SITE AND DEPOSED OF PER REGULATION REQUIREMENTS AND CONTRACT.
- DEMO. CONTRACTOR TO INCUR ALL COST RELATING TO EXIST CURB CUT, SIDEWALK, PROTECTED AREAS DAMAGE IF REPLACEMENT IS REQUIRED.
- AMPLE EQUIPMENT & MANPOWER ON SITE TO COMPLETE TASK IN TIME AGREED.
- PROVIDE RODENT CONTROL PER HEALTH DEPARTMENT.

DURING ALL PHASES OF PROJECT DEMO/BACKFILL & CONTINUED WORK

- TIME FRAME SCHEDULE ARE TO BE LISTED, SIGNED AND ADHERED TO AT ALL TIMES. SEE CONTRACT.
START UP DATE (00-00-00)
LENGTH OF PROJECT (XXX) MAX. } DELAY'S BY WRITTEN AGREEMENT ONLY.
COMPLETION DATE (00-00-00)
- EXCAVATED AREA IS PER OSHA REQUIREMENTS, BASED ON SOIL TYPE.
- CONTACT PERSON LIST WITH EMERGENCY NUMBER TO BE POSTED ON SITE AT ALL TIMES.
- WELDING/TORCHING WILL BE PERMITTED UNDER CONTROLLED CONDITIONS ONLY.
- CONTRACTOR SHALL PROVIDE SAFE WORKING CONDITIONS ON SITE. WORK AREA SHOULD BE DEFINED TO KEEP GENERAL PUBLIC OUT OF WORK AREA.
- CLEAN UP WITHOUT BURNING, NO EXCEPTIONS.
- BEFORE, DURING AND AFTER DEMO WORK, CARE SHALL BE TAKEN TO PROTECT THE ADJOINING PROPERTY'S FROM EXPOSED OR ERODING EMBANKMENT. STOCKPILE OF HAY BALES TO BE ON SITE TO PROTECT IN EVENT OF SAME. IMPLEMENT AS NEEDED.
- DURING BACKFILL, ALL CONSTRUCTION MATERIAL IS TO BE REMOVED ALONG WITH ORGANIC MATTER. EXCEPT TOPSOIL NEEDED FOR NEW LANDSCAPE AREA. SEE BACKFILL.
- DEBRIS TO BE DISPOSED OF OR RECYCLED PROPERLY, PER ALL LOCAL AND STATE CODES.
- SEDIMENT & EROSION CONTROL DEVICES TO BE PLACED IN A MANNER TO PROVIDE SEQUENCE FOR TRAVEL AND PROVIDING ACCESS TO EXIST FACILITY.
- LETTER OF LIMITS REGARDING BACK FILLING REQUIREMENT BY DEMO CONTRACTOR AND CONTRACT FROM OWNER(OTHERWISE THIS PLAN APPLIES AS CONTRACT).

REMOVAL AND DISPOSAL OF:

ABOVE GRADE	BELOW GRADE	STABILIZE RESPECTIVE AREA OF SITE
<ul style="list-style-type: none"> EXIST ISLANDS, CONCRETE MAT, AND UNDERGROUND STORAGE TANKS 	<ul style="list-style-type: none"> DISTURB ONLY MINIMAL AMOUNT OF AREA TO COMPLETE TASK SAW CUTTING PER CONTRACT 	<ul style="list-style-type: none"> BEFORE BACK FILLING OF HOLES ALL DEBRIS TO BE REMOVED TO ALLOW FOR RECONSTRUCTION
<ul style="list-style-type: none"> EXIST CANOPY 	<ul style="list-style-type: none"> 	<ul style="list-style-type: none">
<ul style="list-style-type: none"> GENERAL DEBRIS 	<ul style="list-style-type: none"> DISTURB ONLY MINIMAL AMOUNT OF AREA TO COMPLETE TASK SAW CUTTING PER CONTRACT 	<ul style="list-style-type: none"> ENVIRONMENTAL CONSULTANT RESPONSIBLE FOR OVERVIEW FOR ACTION & CONSULTATION RE: SOIL DISTURBANCE \ SORTING AND RELATED PERMITS, REPORTS.
<ul style="list-style-type: none"> 	<ul style="list-style-type: none"> 	<ul style="list-style-type: none">

PERMITS

TOWN DEMO: AFTER SHUT-OFFS (4) STRUCTURES

BWP: AQ06 00-00-00

ABATEMENTS: SEE OWNER'S REP.

LEGEND

TEST BORING

SHOWN IF APPLICABLE

DISCONNECT LETTER APPROVAL RECEIVED:

WATER: 00-00-00
SEWER: -
VERIZON: 00-00-00
BAY STATE GAS: 00-00-00
WESTERN MASS. ELEC.: -
LABOR & INDUSTRY: -

BARE SOIL:

THE SOIL NEEDS TO BE VERIFIED FREE OF ORGANIC, USCS CLASSIFIED PER ASTM D-2487, AND A BEARING CAPACITY ASSESSMENT MADE. MOISTURE AND DENSITY DETERMINATION PER ASTM D-2922 (THIS SHOULD BE THE NUCLEAR METHOD) IN COMBINATION WITH THE ABOVE USCS CLASSIFICATION MAY SUFFICE. ADDITIONAL TESTING, SUCH AS PENETROMETER MAY BE REQUESTED AFTER REVIEW; FURTHER, ADDITIONAL TESTING SHOULD BE PERFORMED IF DETERMINED NECESSARY BY FIELD PERSONNEL. TO BE CLEAR, REPORTS SHOULD REFERENCE ASTM PROCEDURES. AREA MAPPING TO SHOW DEPTHS OF REQUIRED BACK-FILLING IS ALSO REQUESTED.

IF SATISFACTORY, THE AREA MAY BE BACK-FILLED WITH USCS TYPES CW, GP, GM, OR SW MATERIALS AND VERIFIED COMPACTED TO 95-100% RELATIVE COMPACTION IN 8" MAX. INTERVALS. FILL CLASSIFICATION, COMPACTION, AND MOISTURE LEVELS SHOULD BE VERIFIED AND RECORDED BY INDEPENDENT TEST. TO OWNER REP.

DEMOLITION CONTRACTOR:

- (TAKE DOWN, REMOVE, AND HOLD DISPOSE OF PROPERLY)
- CLIENT SALVAGE
- DELIVERED STORE, PACKAGED AS CONTRACT VERBAL OR OTHERWISE THE FOLLOWING LOAM, DISPENSERS, SIGNS, STEEL AND FURNISHING.
- PER VERBAL AGREEMENT AS DISCUSSED (IF APPLICABLE)

DEMO CONTRACTOR:

IF THERE IS NO CONTRACT, THEN THE REQUIREMENTS OF THIS PLAN, ARE TO ACT AS THE CONTRACT.

DIG-SAFE

EFFECTIVE DIG-SAFE PHONE NUMBER = 1-811

SIGNATURE OF DEMO CONTRACTOR:

(REQUIRED BEFORE START-UP)
MUST PROVIDE CERTIFICATE OF INSURANCE

TO BE PROTECTED

ABOVE GRADE	BELOW GRADE	STABILIZE RESPECTIVE AREA OF SITE
<ul style="list-style-type: none"> POWER LINES CABLE, TELEPHONE LINE AND POLES (AS REQUIRED) 	<ul style="list-style-type: none"> TO BE LOCATED UNDERGROUND 	<ul style="list-style-type: none">
<ul style="list-style-type: none"> EXIST TRAFFIC SIGNAL POLE, PHONE AND TRAFFIC SIGNAL BOX 	<ul style="list-style-type: none"> ELECTRIC 	<ul style="list-style-type: none"> TO BE PROTECTED
<ul style="list-style-type: none"> 	<ul style="list-style-type: none"> EXISTING UTILITIES. (WATER, SEWER, ETC.). 	<ul style="list-style-type: none"> TO BE PROTECTED

SAM'S FOOD

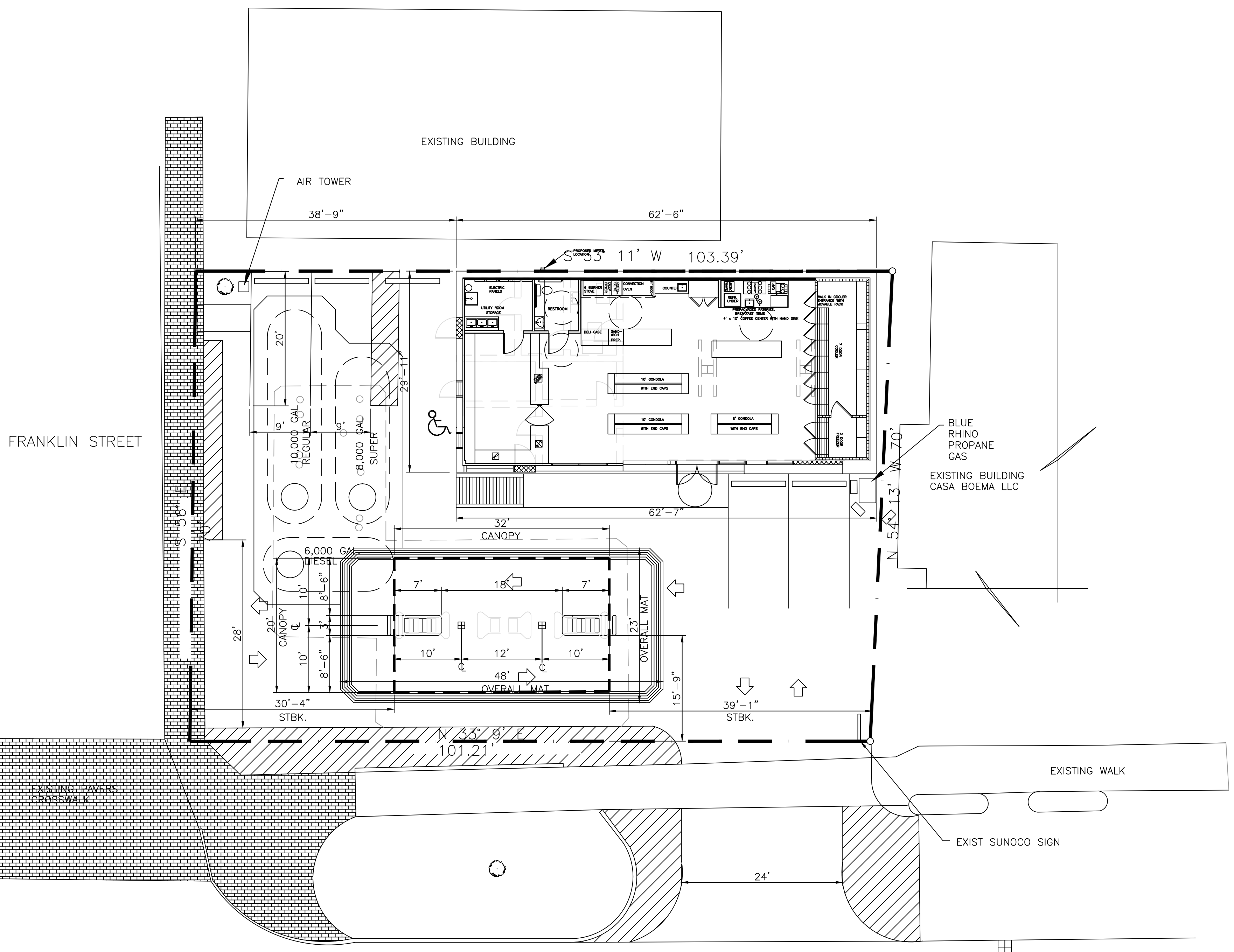
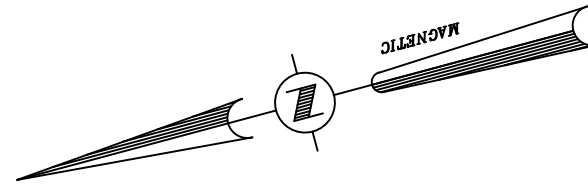
DEMOLITION PLAN

FOR
90 MAIN STREET
LENOX, MA.

DATE: 1/6/21
SCALE: 1"=10'-0"
DR. BY: SP
FILE: 571101

CONSULTING AND DESIGN
LEE MA

TS-43



GENERAL NOTES

1. APPLICANT PROPOSES TO RENOVATE EXISTING 1,798± SQ. FT. 2 BAY REPAIR BAY BUILDING. AND CONSTRUCT A NEW CONVENIENCE STORE AS SHOWN.
2. APPLICANT PROPOSES TO REMOVE EXIST PUMP ISLANDS, CONCRETE MATS, AND CANOPY, INSTALL TWO NEW 3' X 7' PUMP ISLANDS WITH THREE MULTI-PRODUCT DISPENSERS LOCATED THEREON AND ONE NEW 24' X 36' TWO COLUMN CANOPY OVERHEAD.
3. EXIST TANK FARM TO BE REMAIN
INSTALL NEW CONCRETE MAT
4. EXISTING CURB CUTS TO REMAIN UNCHANGED
5. ALL PROPOSED LIGHTING SHALL BE FULL CUT OFF AND DIRECTED SO AS NOT TO GLARE ONTO ANY ABUTTING PROPERTY OR TOWARD TRAFFIC.
6. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO MASS ACCESS STANDARDS OR CITY OF NORTHAMPTON SITE PLAN STANDARDS, WHICHEVER IS MORE RESTRICTIVE. ALL WORK SHALL CONFORM TO AMERICAN DISABILITY ACT OF 1990.
7. PROPERTY OWNER: SHANLEN REALTY CORP 90 MAIN STREET LENOX, MA.
PROPERTY BUYER: CHUCK'S SAM'S FOOD STORES 484 MAIN STREET OXFORD, MA. 01540-1231
DOING BUSINESS AS SAM' FOOD STORES 90 MAIN STREET LENOX, MA. 01240-2308
8. CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH ALL PERMITS AND APPROVALS.

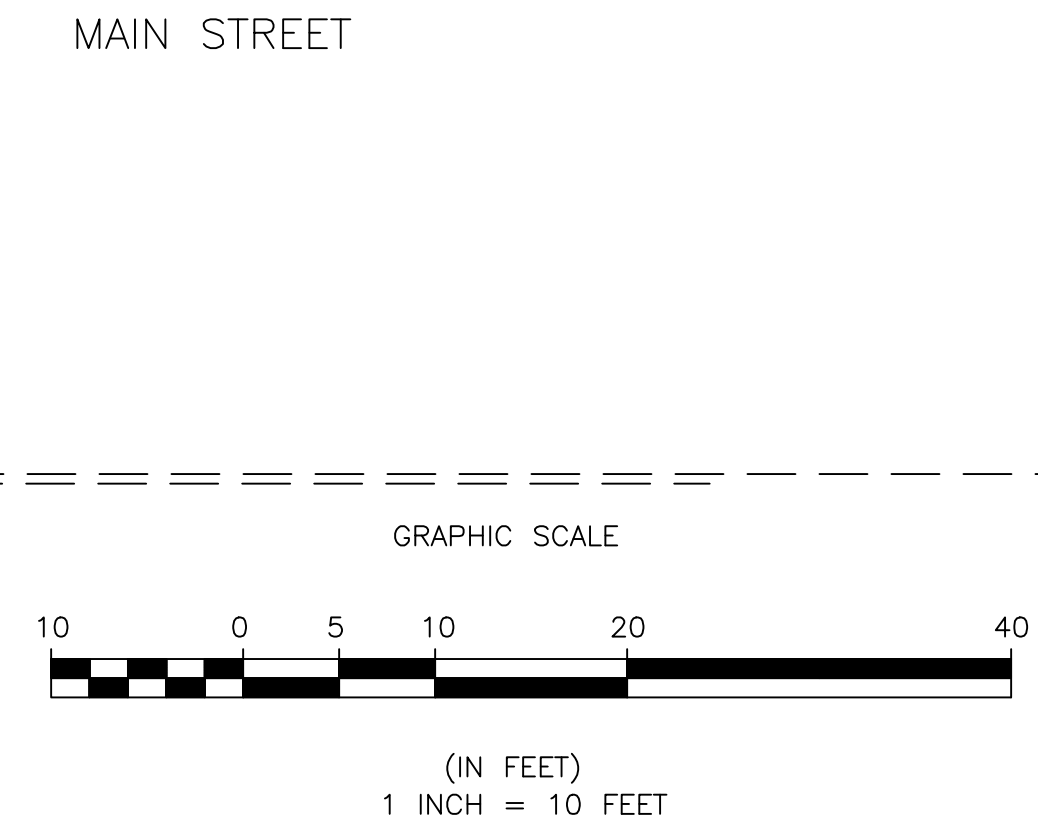
SCOPE OF WORK NOTES:

1. PRIOR TO DEMOLITION AND/OR CONSTRUCTION, CONTRACTOR SHALL CALL "DIG-SAFE", 811 AND HAVE ALL UTILITIES MARKED ON THE GROUND.
2. ALL WORK SHALL CONFORM TO TOWN OF LENOX STANDARDS AND WATER AND SEWER COMMISSION.
3. ANY OFF-SITE LAND DISTURBANCES CAUSED BY THE SITE OR BUILDING CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
4. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NEUTRALIZE AND STABILIZE SITE DURING ANY DELAYS FOR SHORT OR LONG PERIODS OF TIME.

CONTRACTOR SPECIAL NOTES

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES, RULES, REGULATIONS, WHERE THESE CONFLICT WITH THE PLAN OR THE SPECIFICATIONS FOR THE WORK, ANY SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE SITE ENGINEER PRIOR TO STATION SHUTDOWN.
CONTRACTOR WILL PROVIDE LICENSING INFORMATION FOR BUILDING AND ELECTRICAL PERMITS AS NECESSARY.
THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT, FIRE DEPARTMENT, THE SITE ENGINEER, AND THE STATION OPERATOR WITH THE STARTING DATE OF WORK.
THE CONTRACTOR SHALL CALL "DIG-SAFE" (811) TO FIND THE LOCATION OF ANY BURIED LINES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY BURIED LINES. ANY DAMAGE TO THESE LINES DUE TO EXCAVATION WILL BE THE OBLIGATION OF THE CONTRACTOR.

SURVEY DATA TAKEN FROM PLAN TITLED TRAFFIC MANAGEMENT PLAN PREPARED FOR HOFF'S MOBIL LOCATED AT 90 MAIN STREET LENOX, MA.



ZONING INFORMATION CHART FOR (C) COMMERCIAL			
ITEM	EXIST	PROPOSED	REQUIRED
LOT SIZE (SQ. FT.)	7,136.70 SQ. FT.	7,136.70 SQ. FT.	5,000 SQ. FT.
FRONTAGE	70' FRANKLING ST. 101' MAIN ST.	70' FRANKLING ST. 101' MAIN ST.	75'
SEE 6.1.10 LOT SIZE IN THE C DISTRICT			
FRONT SETBACK		39'-9" BLDG /5'-3" CANOPY	
SIDE SETBACK		30'-4"/38'-7" LEFT 39'-1"/4'-11" RIGHT	
REAR SETBACK		0'-0" BLDG/ 40'-9" CANOPY	
SEE 6.1.8 MAXIMUM HEIGHT/NUMBER OF STORIES RESTRICTION			
BUILDING AREA	1,798 SQ. FT. BUILDINGS	1,798 SQ. FT. BUILDINGS 1,512 SQ. FT. CANOPY 3,310 TOTAL	-
MAXIMUM BUILDING COVERAGE		46.3%	75%
OPEN SPACE			

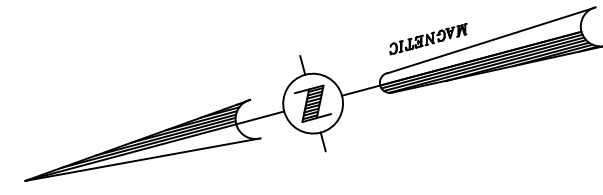
PARKING SPACES REQUIREMENT
1 SPACE FOR EACH 300 SQUARE FEET OF GROSS FLOOR AREA
1,798 SQ. FT. DIVIDED BY 300 SQ. FT. = 5.99
6 SPACES REQUIRED 5 SHOWN, 4 FUELING PLUS 9 TOTAL

SAM'S FOOD

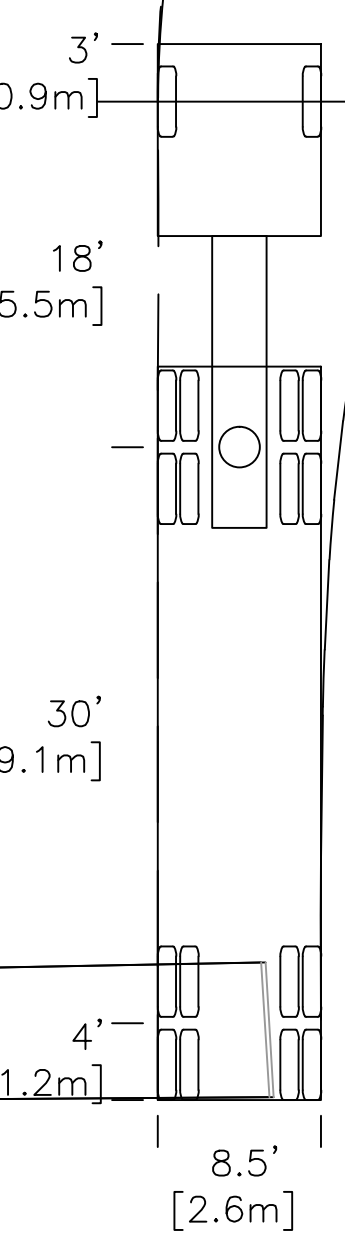
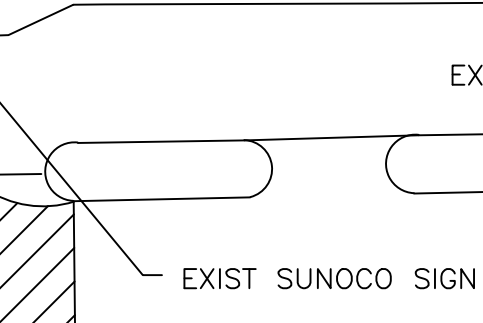
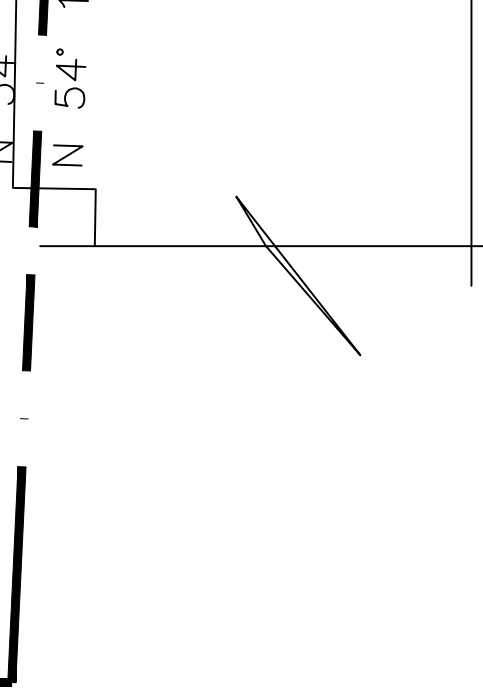
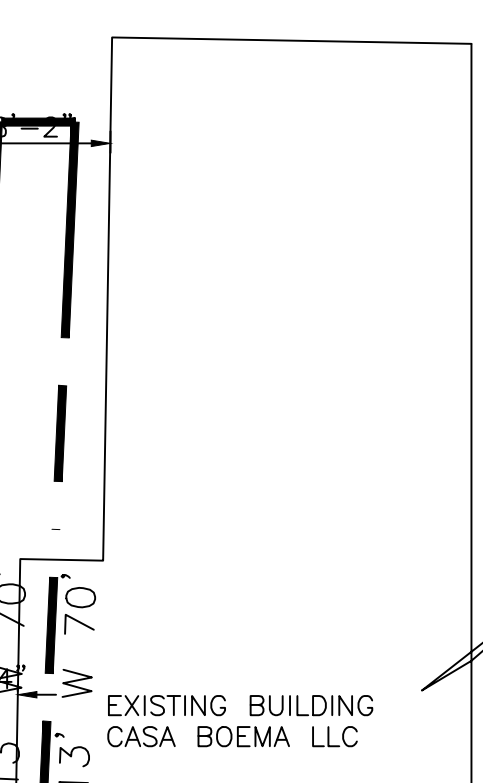
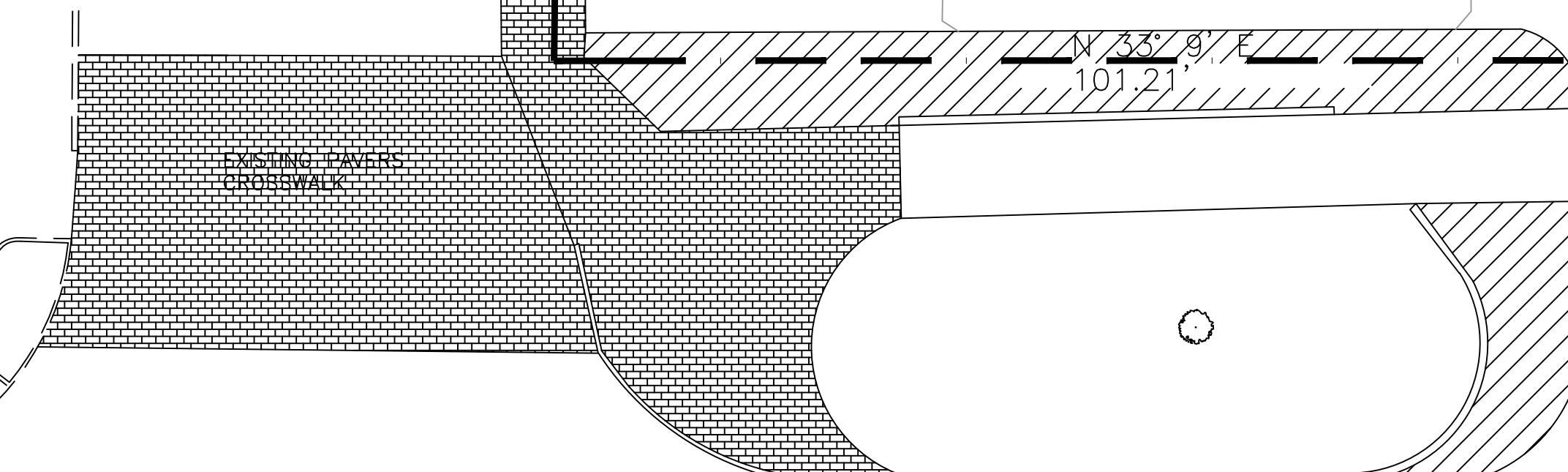
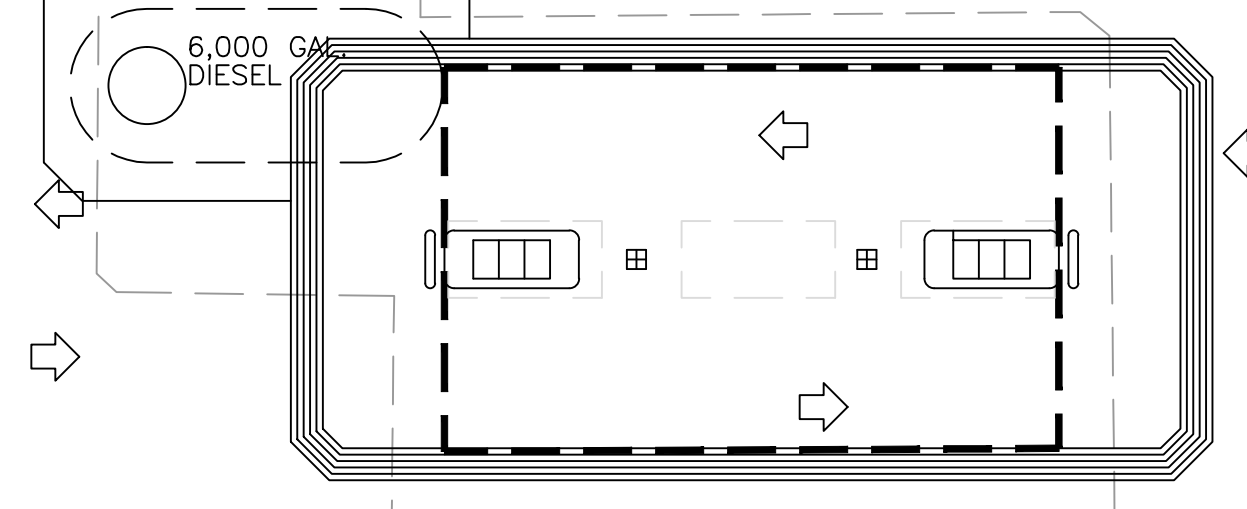
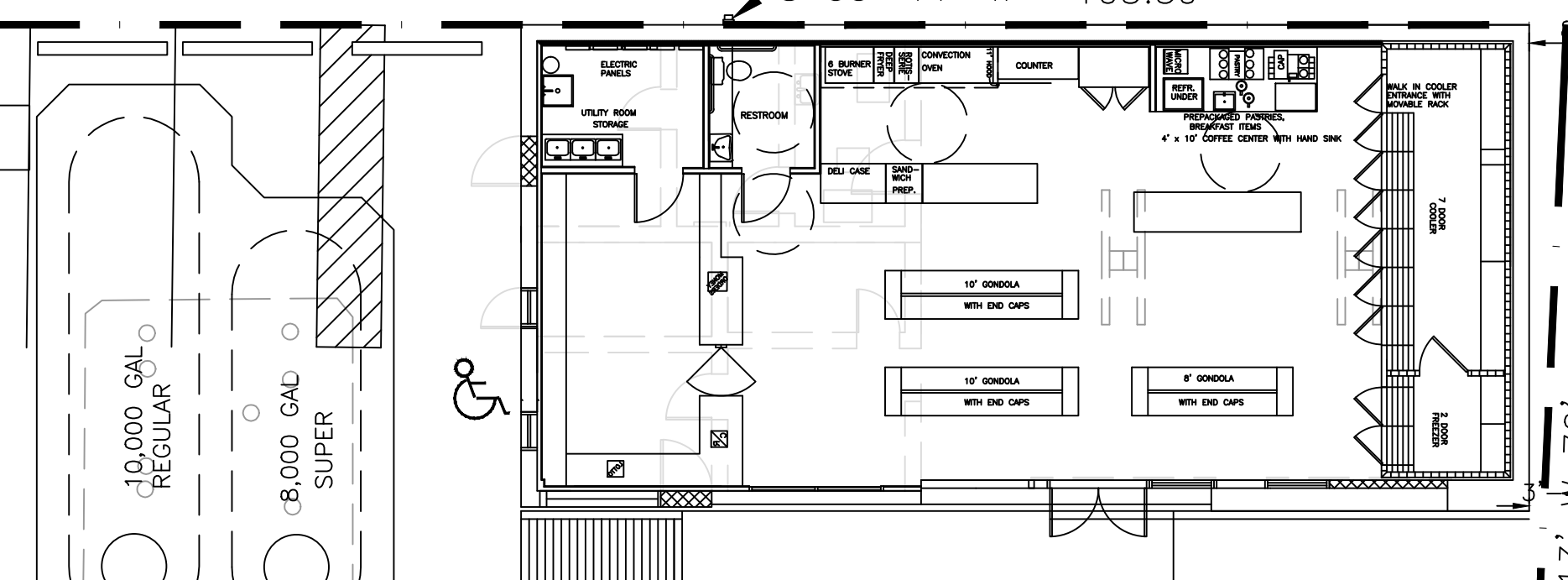
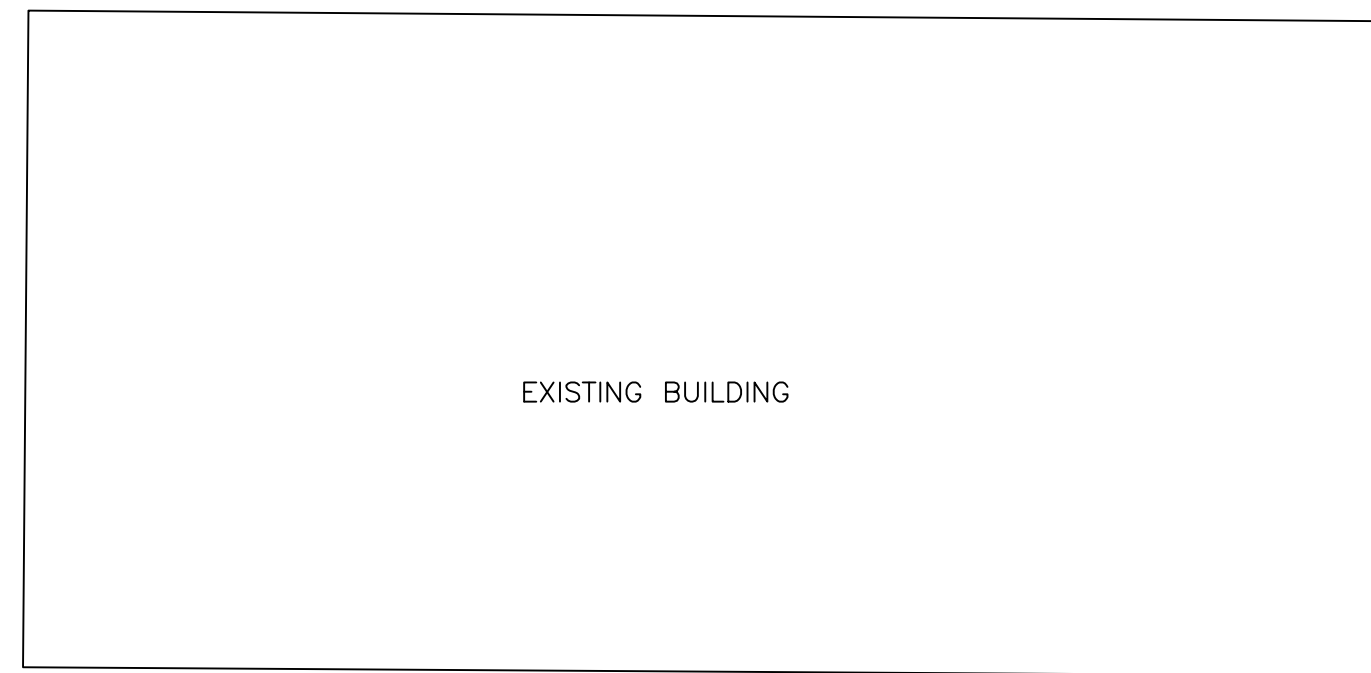
SITE PLAN

FOR
90 MAIN STREET
LENOX, MA.

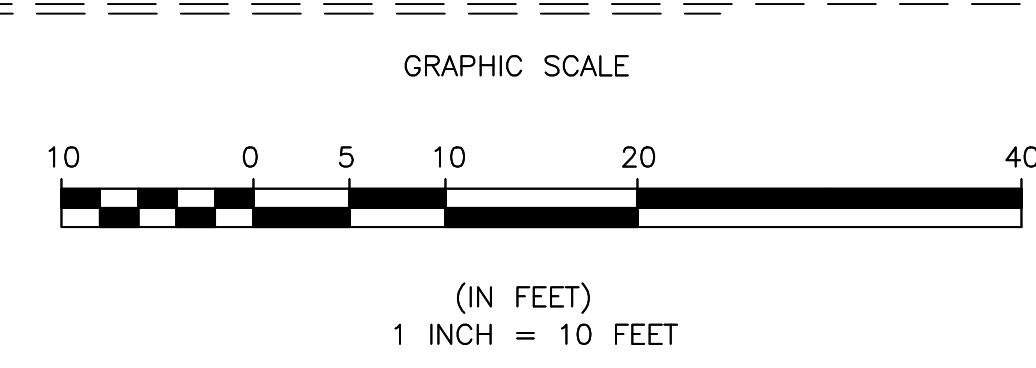
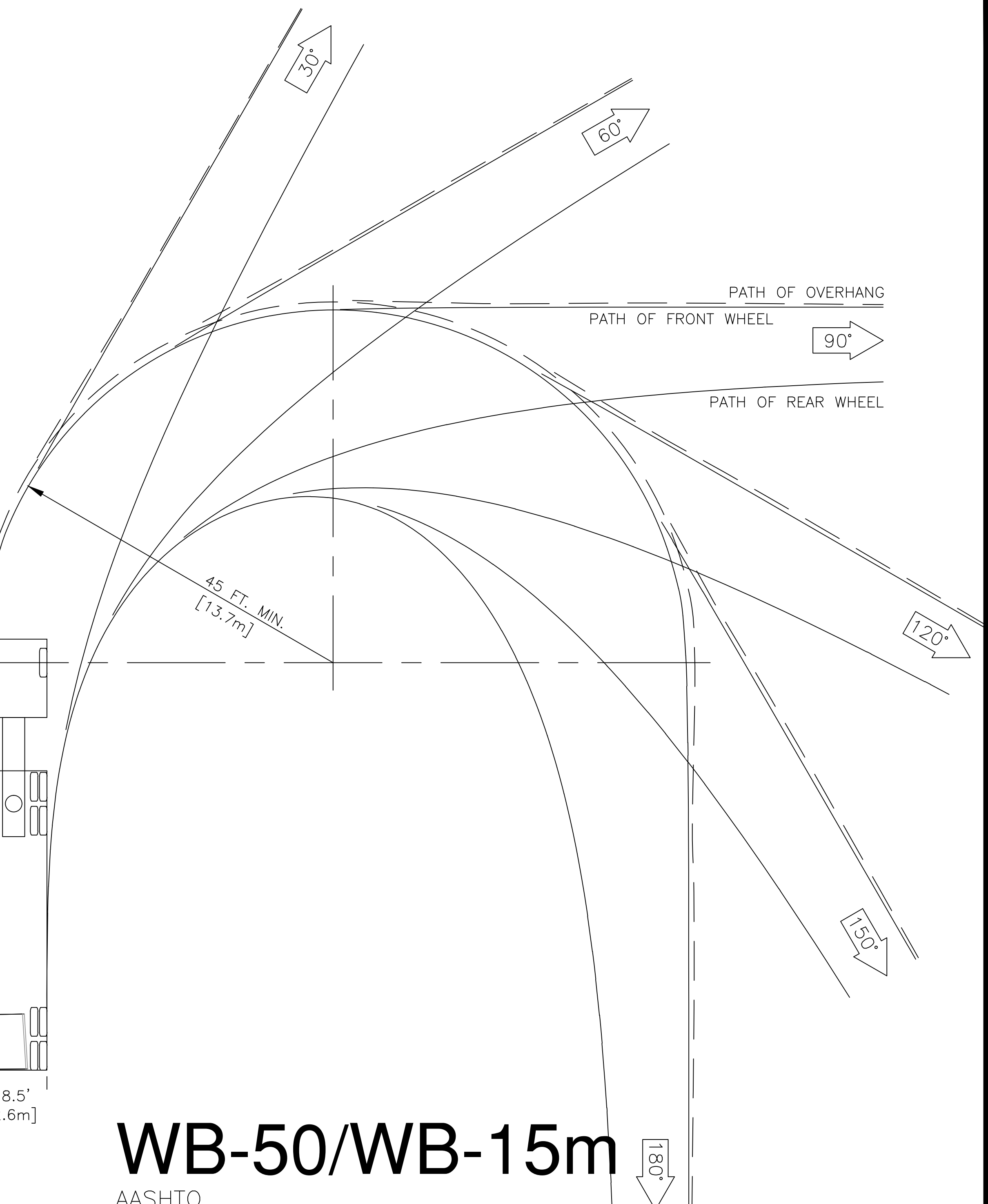
DATE: 1/6/21	CONSULTING AND DESIGN 	S-1
SCALE: 1"=10'-0"		
DR. BY: SP		
FILE: 571101		



FRANKLIN STREET



WB-50/WB-15m
AASHTO



SAM'S FOOD

TRAVEL PATH
FOR
90 MAIN STREET
LENOX, MA.

DATE: 1/6/21
SCALE: 1"=10'-0"
DR. BY: SP
FILE: 571101

CONSULTING AND DESIGN
LEE MA

TS-
22

GENERAL NOTES:

- 1 GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE BUILDING, ESPECIALLY THE CONFIRMATION OF ROOF BEAMS, COLUMN SIZES AND LOCATIONS. REPORT ANY DISCREPANCIES TO THE OWNER'S ENGINEER IMMEDIATELY FOR RESOLUTION.
- 2 ALL DEMOLITION WORK AT THIS SITE SHALL CONFORM WITH ALL CODES, LAWS AND ORDINANCES REQUIRED BY THE LOCAL AUTHORITIES AND BUILDING DEPARTMENT.
- 3 REMOVE ALL EQUIPMENT, CONDUITS, FIXTURES, PIPING, SHELVING, GRAPHICS AND SIGNAGE, ETC., THAT INTERFERE WITH AND ARE UNNECESSARY FOR NEW WORK.
- 4 REMOVE ALL INTERIOR WALLS, PARTITIONS, DOORS, WINDOWS AND FRAMES SHOWN DOTTED, PATCH DISTURBED AREAS TO MATCH ADJOINING SURFACES.
- 5 EXISTING RESTROOM TO RELOCATED AS SHOWN
- 6 EXIST LIFT HEADS AND PISTONS TO BE REMOVED BACK FILL WITH CLEAN APPROVED FILL. CLEAN AND PATCH FLOOR (MATCH EXIST)
- 7 REMOVE EXIST WALL AND FOUNDATION MIN. 6" BELOW FINISH FLOOR. PATCH TO MATCH EXIST.
- 8 FURNISH AND INSTALL NEW VINYL TILE AND COVE BASE COLOR AND SIZE BY OWNER. (SEE ROOM FINISH SCHEDULE.)
- 9 FURNISH AND INSTALL NEW SUSPENDED ACOUSTIC TILE CEILING 9'-0" ABOVE FINISHED FLOOR THROUGHOUT STORE. TILE SHALL BE "ARMSTRONG" 2X2 FISSURED TEXTURE ON WHITE GRIDS (SEE ROOM FINISH SCHEDULE.)
- 10 INSTALL NEW 2X6 WHERE PARTITIONS. ALL NEW INTERIOR PARTITIONS SHALL EXTEND FULL HEIGHT UP TO BOTTOM OF EXISTING ROOF DECK AND SHALL BE COVERED WITH 1/2" GYPSUM BOARD ON BOTH SIDES AND FRP BOARD ON SALES SIDE ONLY OR WHERE REQUIRED (SEE ROOM FINISH SCHEDULE.)
- 11 INSTALL NEW PARTITION BETWEEN TOP OF NEW WALK-IN COOLERS AND CEILING ABOVE USING 2X4'S WITH INSULATION, GYPSUM BOARD AND FRP BOARD. USE HANGERS FROM ABOVE CONSTRUCTION OR EXTEND TO ROOF DECK.
- 12 INSTALL NEW STORE FRONT AS SHOWN. DOOR AND WINDOW FRAMES TO BE CLEAR ANODIZED ALUMINUM WITH CLEAR INSULATED SAFETY GLASS. INSTALL NEW 3'-6" HIGH SILLS MADE OF 2X6 WOOD STUDS AT 16" O.C. WITH 6" INSULATION BATTS BETWEEN AND INSTALL 1/2" PLYWOOD AND CLAP BOARD EXTERIOR AND 1/2" GYPSUM ON INTERIOR.
- 13 ALL ALUMINUM STORE FRONT SECTIONS SHALL BE AS MANUFACTURED BY AMARLITE ANACONDA, THE ALUMINUM DIVISION OF THE ANACONDA COMPANY. EQUAL PRODUCTS OF OTHER SUPPLIERS MAY BE USED IF PREVIOUSLY APPROVED BY OWNER'S ENGINEER.
- 14 DIMENSIONS FOR OPENINGS MARKED WITH AN ASTERISK (*), SHALL BE CONFIRMED BY THE CONTRACTOR WITH THE EQUIPMENT SUPPLIER PRIOR TO CONSTRUCTION.
- 15 CONTRACTOR SHALL PROVIDE OWNER WITH MASTER KEY SYSTEM AND PROVIDE INDIVIDUAL CHARGE KEYS FOR EACH LOCK WHICH IS NOT DESIGNATED TO BE KEYPAD ALIKE WITH A GROUP OF RELATED LOCKS. KEYS SHALL BE NICKLED SILVER ONLY. CONTRACTOR SHALL MEET WITH OWNER TO FINALIZE KEY REQUIREMENTS AND FURNISH OWNER WITH A MINIMUM OF 2 KEYS FOR EACH LOCK. IF OWNER REQUIRES A MASTER KEY SYSTEM, IT SHALL BE AT OWNER'S DISCRETION AND EXPENSE.
- 16 INSTALL NEW CIGARETTE DISPLAY BY HANGING FROM EXIST ROOF JOIST ABOVE. SEE CIGARETTE VENDORS RACK SPEC. FOR INSTALLATION DETAILS. CABINET MAKER TO INSTALL ALL COUNTER BASES FOR CHECKOUT AND FAST FOOD AREAS. CABINET MAKER TO FURNISH AND INSTALL COUNTER TOPS AFTER VERIFYING COLOR AND SIZES WITH OWNER.
- 17 INSTALL NEW SHELVING, GONDOLAS AND OTHER EQUIPMENT (FURNISHED BY OWNER) AS SHOWN ON PLAN AND EQUIPMENT LIST.
- 18 UPGRADE OF HEATING AND AIR CONDITIONING UNITS BY HVAC CONTRACTOR. ALL HVAC PLANS AND SPECS BY HVAC CONTRACTOR, WHO SHALL BID THIS PROJECT SEPARATELY. HVAC CONTRACTOR SHALL COORDINATE HIS ACTIVITY WITH GENERAL CONTRACTOR AND CONSTRUCTION ENGINEER.
- 19 EXISTING ELECTRICAL PANEL & METER TO BE MODIFIED. INSTALL NEW ADDITIONAL PANEL AND MAIN SWITCH BOARD, IF REQUIRED. SEE ELECTRICAL PLANS.
- 20 NEW PRE-FABRICATED COOLER EQUIPMENT TO BE FURNISHED AND INSTALLED AS A COMPLETE PACKAGE WITH ALL COMPONENTS REQUIRED AND READY FOR OPERATION BY COOLER MANUFACTURER. INSULATED WALLS AND ROOF CEILING PANELS SHALL BE SHIMMED LEVEL AND END WALL FILLER SHALL BE FURNISHED AND INSTALLED PER COOLER MANUFACTURER. FILLERS SHALL MATCH COOLER FINISH.
- 21 ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL INCIDENTAL ELECTRICAL AND MECHANICAL WORK NOT SHOWN ON THESE DRAWINGS, BUT AS MAY BE REQUIRED BY SHOP DRAWINGS PROVIDED BY COOLER MANUFACTURER. GENERAL CONTRACTOR SHALL GROUT AS REQUIRED BETWEEN SLAB AND COOLER WALLS AND FURNISH AND INSTALL SILICONE SEALANT AT ALL FLOOR TO WALL JOINTS AND MAKE AIR TIGHT. GENERAL CONTRACTOR MUST PROVIDE A LEVEL FLOOR SLAB WITH MAXIMUM DELATION FORM LEVEL NOT GREATER THAN 1/8" ON 20'-0" DUE TO COOLER PANEL ALIGNMENT.
- 22

ROOM FINISHES

CEILING: SHALL BE 2' x 2' LAY-IN SUSPENDED ACOUSTICAL TILE OF MINERAL FIBER WITH A CLASS "A" NON-COMBUSTIBLE RATING. PROVIDE A VINYL COATING ON A FACE OF THE TILE WHERE REQUIRED BY HEALTH DEPARTMENT. TILES SET IN 2X2 METAL T-GRIDS, COLOR BY OWNER.

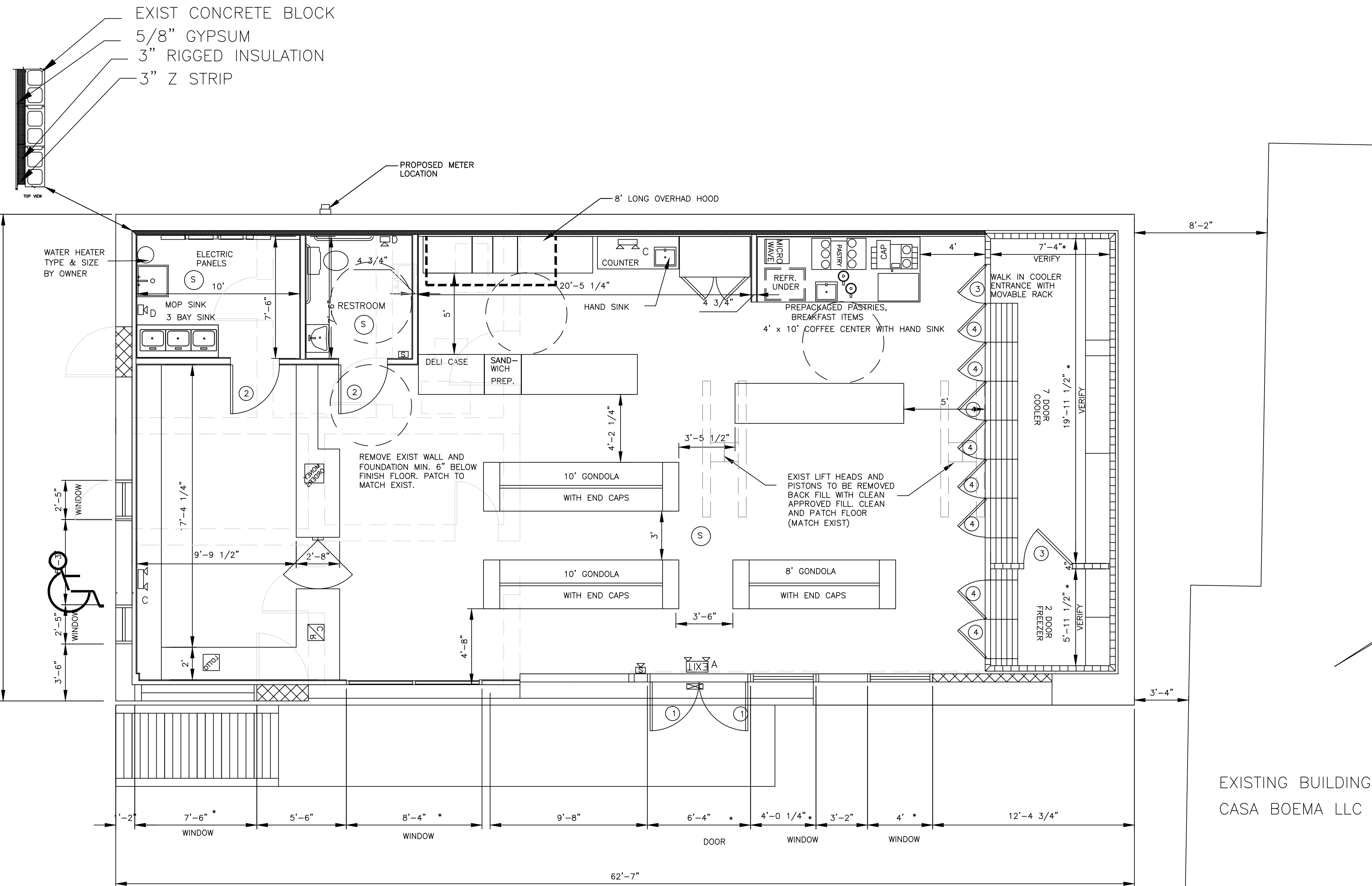
WALLS: SEE ROOM FINISH SCHEDULE. USE EXTRUDED VINYL PREFINISHED JOINTS WHERE APPLICABLE.

PAINT: ALL INTERIOR & EXTERIOR PAINT SHALL BE SPECIFIED BY SAM'S FOOD STANDARD SPECS. AND COLORS SHALL BE SELECTED BY LIPTON ENERGY FIELD ENGINEER. ALL NEW AND EXISTING SURFACES SHALL BE PROPERLY PREPARED AND PAINTED BY GENERAL CONTRACTOR.

FLOORS: DESCRIPTION. VINYL TILES, SEE SAM'S FOOD FIELD ENGINEER REGARDING TILE PATTERN AND MANUFACTURER'S SPECIFICATIONS

FLOORS: CLEANING AND PROTECTION. CONTRACTOR SHALL REMOVE ANY EXCESS ADHESIVE OR OTHER SURFACE BLEMISHES USING CLEANERS AS RECOMMENDED BY MANUFACTURER. PROTECT FLOOR FROM DAMAGE BY COVERING.

ROOM FINISH SCHEDULE					
ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS
SALES AREA	VINYL TILE	VINYL COVE	5/8" GYP. BD.	2X2 ACOUST. TILE ON SUSP. SYS.	9'-0" CEILING HEIGHT
ATTN.S AREA	"	"	"	"	9'-0" CEILING HEIGHT
RESTROOM	"	"	4' HIGH FRP BD. AROUND PERIMETER	"	9'-0" CEILING HEIGHT
STOR./UTIL.	"	"	FRP WHERE REQ'D.	"	9'-0" CEILING HEIGHT
PRE-FAB COOLER	-	-	-	-	PRE-FAB UNIT BY OTHERS



CONTRACTOR TO VERIFY FROST WALL AND FOOTING UNDER BAY DOORS AND WINDOW. INSTALL NEW FROST WALL AND FOOTING IF NECESSARY.

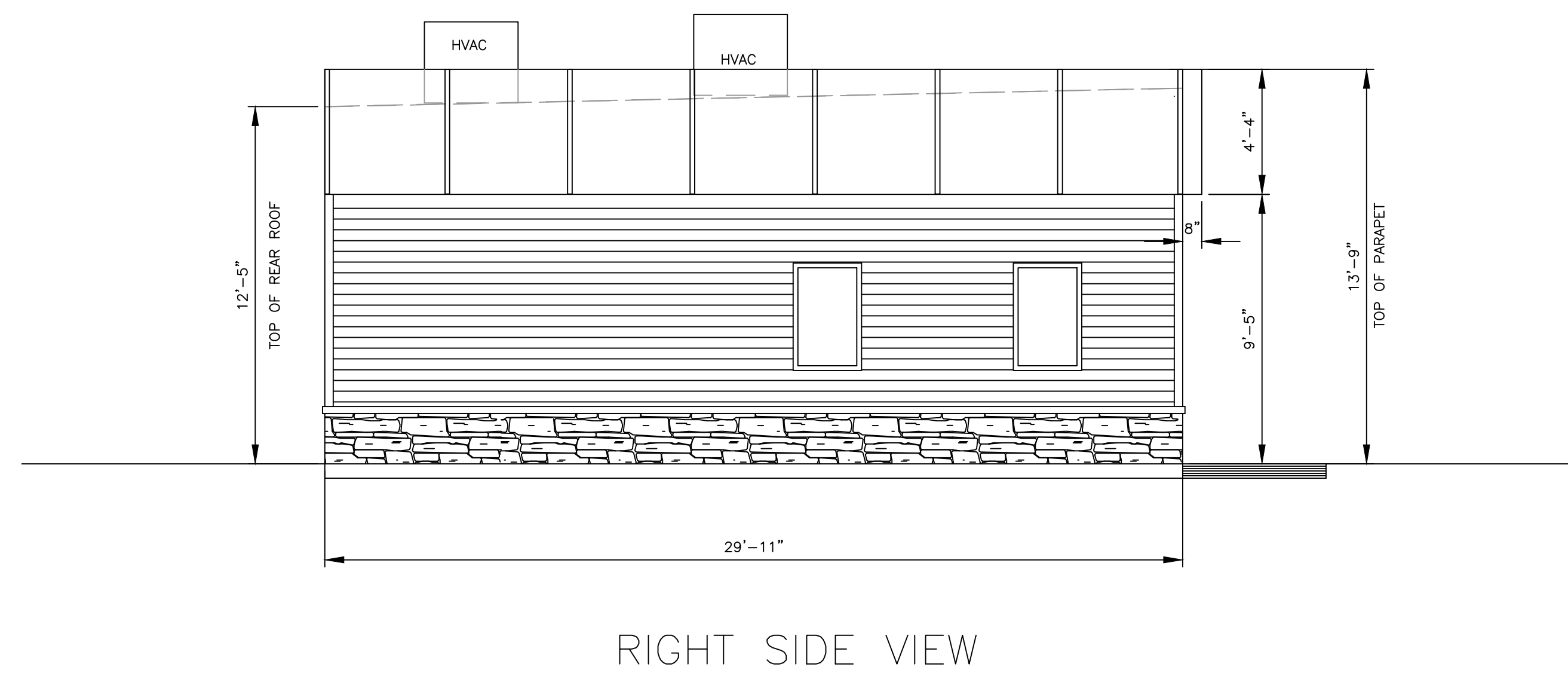
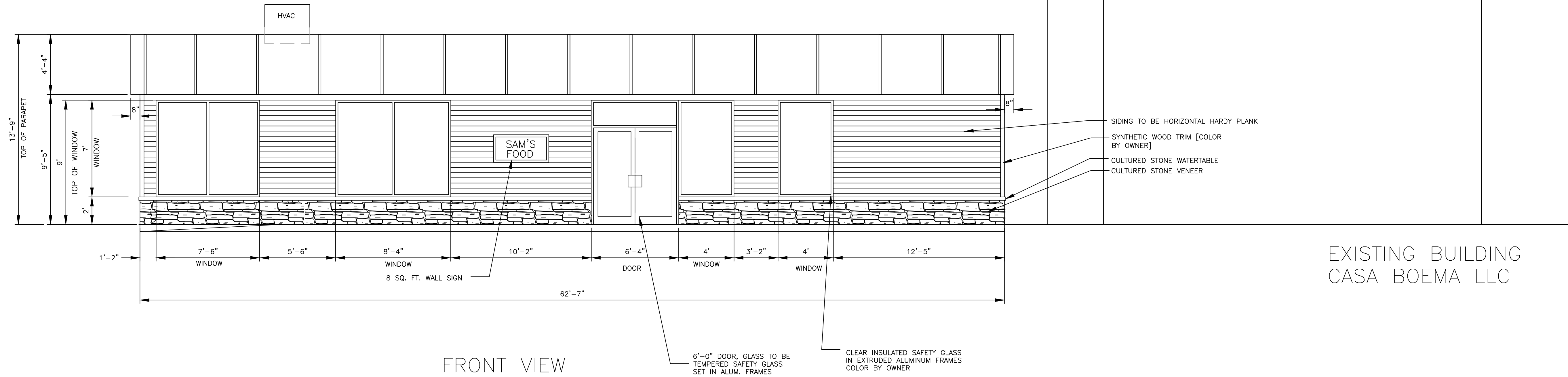
SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EXTERIOR EXIST CONCRETE BLOCK WALL 5/8" GYPSUM BOARD
	INT. WALLS, 2X4 STUDS @ 16" O.C. (2X6 WHERE NOTED) W/ 5/8" GYP. BD. BOTH SIDES & PANELING OR FRP BD. AS REQ'D.
	PRE-FAB WALK-IN COOLER WALLS BY COOLER MANUFACTURER
	EXISTING WALLS TO BE REMOVED

DOOR SCHEDULE					
QUAN.	SYMB.	SIZE	DESCRIPTION	FRAME	REMARKS
2	(1)	3'-0"x7'-0"x1'-3/4"	TEMPERED GLASS SET IN ALUM. NARROW STILES & RAILS	4-1/2" ALUM.	COMPLETE W/ WEATHERSTRIPPING, SELF-CLOSER, MAX. SECURITY LOCK PUSH & PULL PLATES TO CODE ALUM. THRES. TRANSOM (OPT.)
2	(2)	3'-0"x6'-8"x1'-3/8"	FLUSH HOLLOW CORE/ WOOD	4-1/2" WOOD	12" KICKPLATE INT. LOCKSET SELF-CLOSER WHERE REQ'D. LOCKSET & HANDLES TO MEET A.D.A. REQUIREMENTS
2	(3)	3'-0"x6'-8"x1'-3/4"	INSUL. METAL SERVICE DOOR	METAL	SUPPLIED BY COOLER MANU.
9	(4)	2'-6"x5'-4" NOMINAL	INSUL. GLASS/ METAL REACH-INS	METAL	SUPPLIED BY COOLER MANU.
	(5)				

SAM'S FOOD

FLOOR PLAN
FOR
90 MAIN STREET
LENOX, MA.

DATE: 1/6/21	CONSULTING AND DESIGN 	B-1
SCALE: 1/4"=1'-0"		
DR. BY: SP		
FILE: 571101		



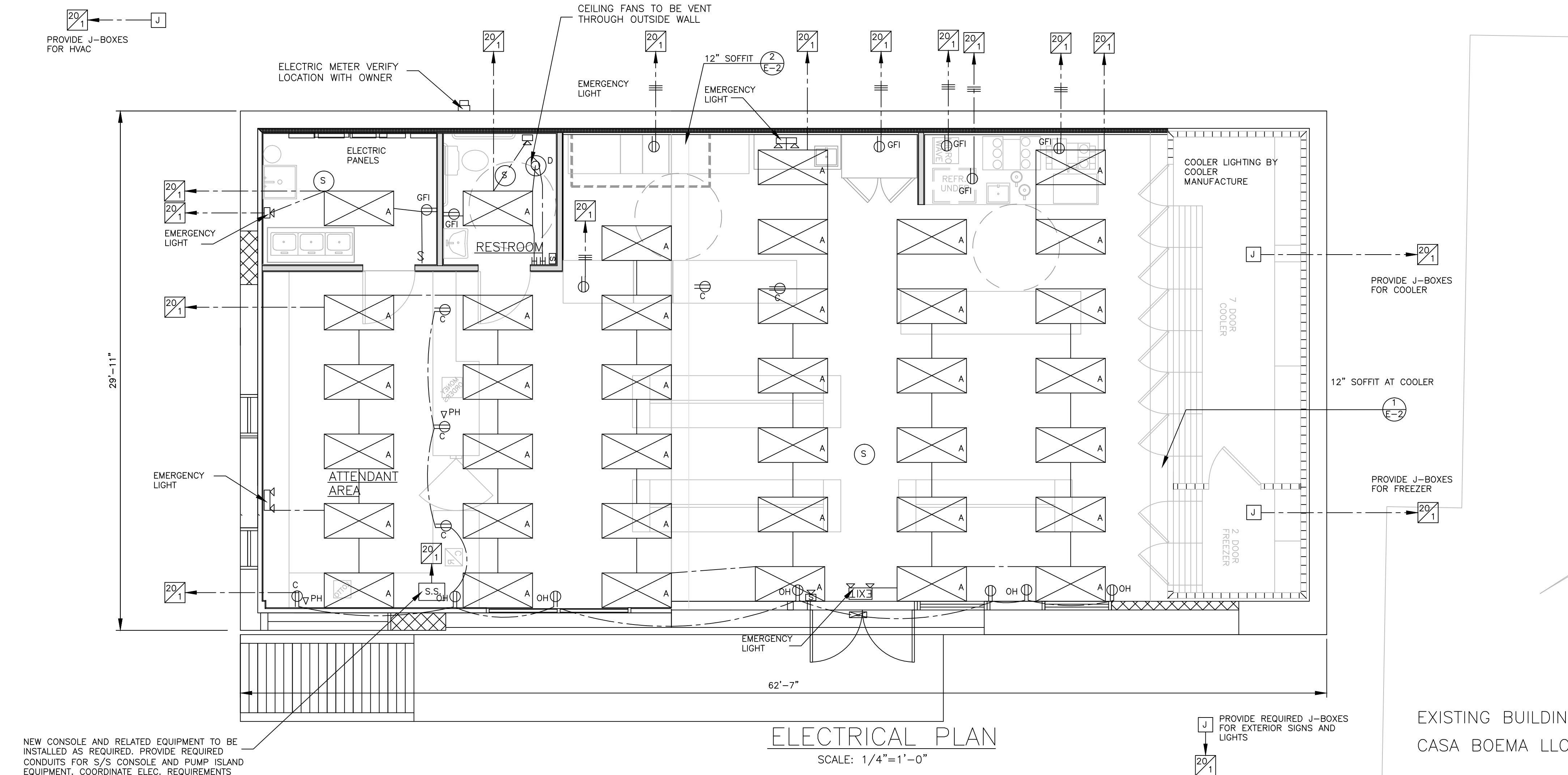
SAM'S FOOD	
ELEVATION FOR 90 MAIN STREET LENOX, MA.	
DATE: 1/6/21	CONSULTING AND DESIGN LEE MA
SCALE: 1/4"=1'-0"	
DR. BY: SP	
FILE: 571101	A-2

ELECTRICAL NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND ACCESSORIES NECESSARY FOR A COMPLETE OPERATIONAL INSTALLATION.
- THE CONTRACTOR SHALL GIVE ALL REQUIRED NOTICES, COMPLY WITH ALL THE NECESSARY CODES, FILE ALL REQUIRED DRAWINGS WITH THE PROPER AUTHORITIES AND SECURE ALL APPROVALS, PERMITS AND PAY ALL FEES BEFORE INSTALLATION OF WORK.
- ALL ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND THE MOST RECENT NATIONAL ELECTRICAL CODES.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR READING AND ADHERING TO IECC SECTION 505 NOTES, THIS PAGE.
- PANEL BOARDS SHALL BE SQUARE "D" TYPE "QO" WITH CIRCUIT BREAKERS AS PER SCHEDULES. PANEL BOARDS SHALL HAVE A SEPARATE GROUND BUS.
- PANEL BOARD SCHEDULES SHALL BE CLEARLY MARKED USING TYPEWRITTEN IDENTIFICATION TABS ON EACH CIRCUIT.
- CIRCUIT BREAKERS FOR LIGHTING LOADS SHALL BE SQUARE "D" TYPE QO B-HID.
- ALL ELECTRICAL OUTLETS, FIXTURES AND EQUIPMENT SHALL BE GROUNDED AS PER N. E. C..
- ALL WIRING SHALL BE CONCEALED IN ALL FINISHED AREAS. VINYL COATED ROMEX WIRE SHALL BE USED IN WALLS AND ABOVE CEILING FOR BRANCH CIRCUITS. SIZE AS REQUIRED, WHEN PERMITTED BY CODE
- CONDUITS RUN BELOW GRADE SHALL BE SCHEDULE 40 PVC ENCASED IN CONCRETE WITH RIGID ELBOWS AND RISERS UP WALL. PROVIDE A GREEN GROUND WIRE IN EACH. ELECTRICAL AND CONCRETE CONTRACTORS TO COLLABORATE ON LOCATIONS OF STUB-UPS AND SERVICE LINES PENETRATING ALL CONCRETE SLABS/SIDEWALKS/FOOTINGS/FROST-WALLS.
- CONTRACTOR TO PROVIDE WIRING FOR 3 PHASE SERVICE TO NEW HVAC UNITS, EQUIPMENT AND CONTROLS SUPPLIED BY OWNER.
- CONTRACTOR SHALL OBTAIN ELECTRICAL DATA REGARDING REFRIGERATION EQUIPMENT PRIOR TO INSTALLING WIRING TO VERIFY ELECTRICAL LOADS, PROVIDE WIRING FOR LIGHTING IN COOLER DOORS (SUPPLIED BY OWNER) AND POWER TO UNITS.
- CONTRACTOR TO INSTALL REQUIRED AC/DC EMERGENCY LIGHTING AND EXIT SIGNS AS SHOWN ON THE PLAN. SUPPLIED BY OWNER
- CONTRACTOR TO PROVIDE WIRING TO EXTERIOR LIGHTING AND SIGNAGE, AND INSTALL FIXTURES SUPPLIED BY OWNER.
- INSTALL REQUIRED 110 AND 220 VOLT ELECTRICAL OUTLETS THROUGHOUT STORE. PROVIDE OUTLETS FOR COUNTER, COOLERS, ETC. STUB UP FOR COFFEE ISLAND AND FAST FOOD ISLAND, PER PLAN. VERIFY NUMBER AND LOCATION WITH OWNER.
- VERIFY LOCATIONS AND MOUNTING HEIGHTS OF ALL JUNCTION BOXES AND RECEPTACLES FOR EQUIPMENT PRIOR TO INSTALLATION.
- INSTALL ALL LIGHTING FIXTURES PER PLAN.
- ALL LIGHT FIXTURES TO BE ENERGY SAVING TYPE (WATT MISTER BALLASTS). CHROME COLOR INSERTS SUPPLIED BY OWNER
- CONTRACTOR TO PROVIDE ALL OTHER WIRING NOT SHOWN ON THE PLANS AND CONSULT OWNER WITH ANY DISCREPANCIES.
- ELECTRICAL OUTLETS SHOWN ARE MINIMUM INSTALLATION. LOCAL CODE OR OWNER MAY REQUIRE ADDITIONAL OUTLETS
- INSTALLATION AND FIXTURE SELECTION SHALL COMPLY WITH APPLICABLE ASHRAE AND STATE BUILDING CODE ENERGY REQUIREMENTS.
- OVER HEAD INTERIOR LIGHTING SHALL NOT EXCEED 2.1 WATTS PER SQ. FT. EXTERNAL WATT DENSITY SHALL MEET STATE BUILDING CODE ENERGY REQUIREMENT.
- ALL EXIT DISCHARGE LIGHTING TO MEET 780 CMR 1023.0, 1024.0

MINIMUM REQUIRED PHONE LINES

- 1- VOICE (OFFICE AND SALES CORE)
- 1- LOTTERY MACHINE
- 1- POS (REGISTERS)
- 1- TLS-350 MONITORING SYSTEM
- 1- SPARE



NEW CONSOLE AND RELATED EQUIPMENT TO BE INSTALLED AS REQUIRED. PROVIDE REQUIRED CONDUITS FOR S/S CONSOLE AND PUMP ISLAND EQUIPMENT. COORDINATE ELEC. REQUIREMENTS FOR FIRE SUPPRESSION EQUIPMENT IF APPLICABLE.

ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOLS

- FLOURESCENT RECESSED LIGHT FIXTURE AND OUTLET BOX. LETTER INDICATES TYPE. SEE FIXTURE SCHEDULE.
- FLOURESCENT LIGHT STRIP FIXTURE AND OUTLET BOX. LETTER INDICATES TYPE. SEE FIXTURE SCHEDULE.
- INCANDESCENT LIGHT FIXTURE AND OUTLET BOX.
- INCANDESCENT LIGHT FIXTURE WITH FAN AND OUTLET BOX. MOTION SENSOR
- JUNCTION BOX OR DISCONNECT, SIZE AND TYPE AS PER CODE AND CONSTRUCTION. USE WATERPROOF BOX WHERE REQUIRED.
- SINGLE POLE SWITCH, MTD. 48" A.F.F. EQUAL TO HUBBELL #11211
- 3-WAY SWITCH, MTD. 48" A.F.F.
- DUPLEX RECEPTACLE, MTD. 18" A.F.F. EQUAL TO HUBBELL #53421
- DUPLEX RECEPTACLE, MTD. BELOW COUNTER
- WEATHERPROOF DUPLEX RECEPTACLE, EQUAL TO HUBBELL #53421, WITH A HUBBELL #5206 COVERPLATE, MOUNTED ON A SURFACE MTD. CAST BOX.
- GROUND FAULT RECEPTACLE EQUAL TO HUBBELL #GF5261
- EMERGENCY BATTERY UNIT WITH (2) HEAD MTD. 8'-0" A.F.F., SEE SCHEMATIC.
- BRANCH CIRCUIT WIRING RUN CONCEALED
- HOMERUN TO PANEL, HASHMARKS INDICATE NUMBER OF CONDUCTORS
- SURFACE MTD. PANEL
- EXIT LIGHT
- 20 AMP, SINGLE POLE CIRCUIT
- CASH REGISTER
- SELF-SERVICE CONSOLE
- APPROVED METER AND INCOMING SERVICE
- PHONE JACK
- LIGHT PACKS
- LIGHTOLIER CS-OSLV OCCUPANCY SENSOR OR EQUAL

SEE SHEET E-1A FOR EMERGENCY SCHEDULE

LIGHT FIXTURE SCHEDULE ALL LIGHTS TO BE LED			
QUAN.	SYM.	MANUFACTURER	DESCRIPTION
38	A		2'x4' LED RECESSED LAY-IN PARABOLIC EGG CRATE INSERTS
	B		
	C		
1	D	NUTONE FAN	CEILING FAN SURFACE MOUNTED W/ MOTION SENSOR SWITCH
	E	SOFFIT LIGHTS	175 W M.H. RECESSED LED
	F	HOLOPHANE 419-NS-120-BZ3 0108	
	G	WALL PACK EXTERIOR LIGHT	SHOE BOX 250 W LED
2	H	LIGHTOLIER CS-OSLV OR EQUAL	OCCUPANCY SENSOR

SAM'S FOOD

ELECTRICAL PLAN

FOR
90 MAIN STREET
LENOX, MA.

DATE: 1/6/21
SCALE: 1/4"=1'-0"
DR. BY: SP
FILE: 571101

CONSULTING AND DESIGN
LEE MA

E-1

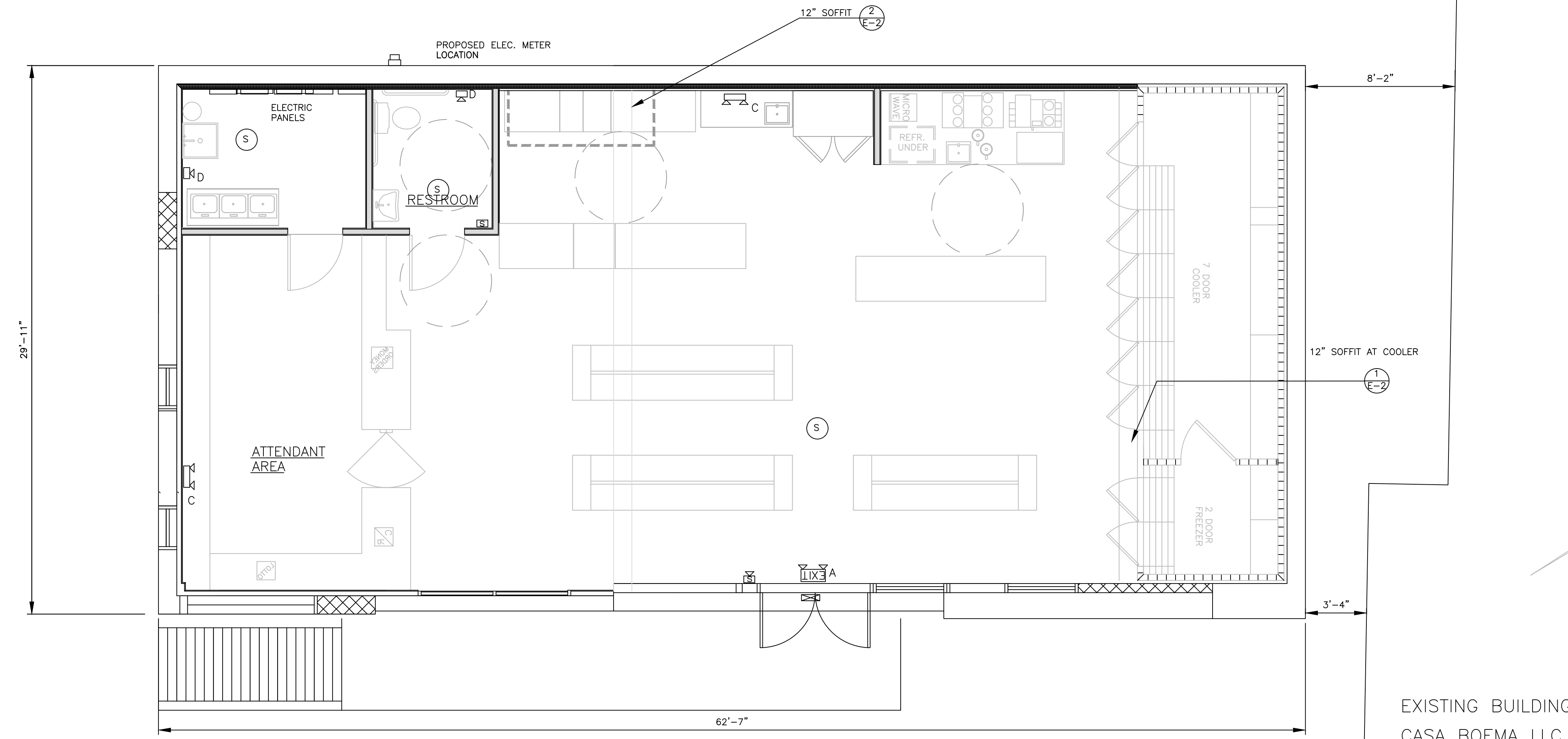
NFPA-72 NOTIFICATION APPLIANCES NARRATIVE

72-4-1.3 ALL DEVICES MUST BE LISTED
 EXISTING CEILING MOUNTED FIRE DETECTORS WILL BE REMOVED
 NEW COMMERCIAL GRADE, UL LISTED, HARD WIRED, BATTERY BACK UP
 FIRE/CO2 DETECTORS WILL BE INSTALLED

72-4-3.1.2 SOUND
 DEVICE SHALL MEET A SOUND GREATER THAN 105 dBA AND
 REQUIRE A VISIBLE SIGNAL
 DEVICE SHALL MEET A SOUND PRESSURE NO GREATER THAN 120 dBA GREATER THAN 105 dBA AND
 DEVICES WITH AUDIBLE SIGNALS INTENDED FOR PUBLIC MODE SHALL HAVE A SOUND LEVEL NOT LESS THAN
 75 dBA AT 10' OR MORE THAN 120 dBA AT MINIMUM HEARING DISTANCE FROM THE AUDIBLE APPLIANCE

72-4-4.1 SPACING IN A ROOM
 DEVICES WILL BE LOCATED NO MORE THAN 50' APART WITHIN A ROOM

72-5-2 CENTRAL STATION SERVICE
 MONITOR ONLY- OWNER MUST CONTRACT OUT A LISTED "FIRE ALARM SERVICE COMPANY" TO PROVIDE
 MAINTENANCE



EMERGENCY FIXTURE PLAN
 SCALE: 1/4"=1'-0"

780 CMR EXIT DISCHARGE NOTES:

1023.1 LOCATION
 ALL EXIT OR EXIT ACCESS SIGNS SHALL BE APPROVED EXIT SIGNS VISIBLE FROM THE EXIT ACCESS AND WHERE
 NECESSARY SUPPLEMENTED BY DIRECTIONAL SIGNS

1023.2 SIZE AND COLOR
 ALL EXIT OR EXIT ACCESS SIGNS SHALL MEET SIZE, LETTERING AND COLOR STANDARDS PER THIS SECTION.
 NECESSARY SUPPLEMENTED BY DIRECTIONAL SIGNS

1023.2 ILLUMINATION
 ALL EXIT OR EXIT ACCESS SIGNS SHALL BE ILLUMINATED BY A SOURCE PROVIDING NOT LESS THAN 5 FOOTCANDLES

1023.2 POWER SOURCE
 ALL EXIT OR EXIT ACCESS SIGNS SHALL BE ILLUMINATED AT ALL TIMES THAT THE BUILDING IS OCCUPIED
 AND MEET CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 1 HOUR IN CASE OF PRIMARY POWER LOSS
 ALL EXIT OR EXIT ACCESS SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM THAT COMPLIES
 WITH 527 CMR 12.00, THE MASS . ELEC. CODE REFERENCED IN 780 CMR 27 AND LISTED IN APPENDIX A.

IECC SECTION 505 NOTES:

505.2 LIGHTING CONTROLS
 ALL LIGHTING SYSTEMS MUST HAVE MANUAL CONTROLS, EXCEPT EMERGENCY OR EXIT LIGHTING
 ELECTRICIAN WILL PROVIDE

505.2.1 INTERIOR LIGHTING CONTROLS
 EACH AREA WITH ENCLOSED WALLS SHALL HAVE AT LEAST ONE MANUAL CONTROL FOR LIGHTING
 SERVING THAT AREA:

- RETAIL AREA - (1) MANUAL SWITCH WILL BE PROVIDED
- REST ROOMS - (1) MANUAL SWITCH WILL BE PROVIDED PER EACH RESTROOM
- STORAGE AREA - (1) MANUAL SWITCH WILL BE PROVIDED
- UTILITY ROOM - (1) MANUAL SWITCH WILL BE PROVIDED
- OFFICE AREA - (1) MANUAL SWITCH WILL BE PROVIDED

INSTALLATION INSTRUCTIONS:
 MANUAL CONTROLS MUST BE AVAILABLE TO OCCUPANTS, IN VIEW OF LIGHTS CONTROLLED,
 ACCESSIBLE AND EASY TO OPERATE

CONTRACTOR
505.2.1 EXTERIOR LIGHTING CONTROLS
 LIGHTING NOT DESIGNATED FOR DUSK TO DAWN OPERATION SHALL BE CONTROLLED BY EITHER A COMBINATION
 OF PHOTOSENSOR AND A TIME SWITCH OR AN ASTRONOMICAL TIME SWITCH, TYPE BY OWNER, INSTALLED BY

ALL SWITCHES SHALL BE CAPABLE OF RETAINING PROGRAMING AND THE TIME SETTING DURING LOSS OF POWER
 FOR A PERIOD OF AT LEAST 10 HOURS.

505.2.4 TANDEM WIRING
 ALL FLUORESCENT LIGHTING SHALL BE ELECTRONIC HIGH FREQUENCY BALLASTS, CONTRACTOR TO INSTALL
 RECESSED MOUNTED FLUORESCENT LIGHTS IN THE SAME ROOM AND WITHIN 10' OF ONE ANOTHER SHALL
 BE TANDEM WORED TO ELIMINATE THE USE OF A SINGLE LAMP BALLASTS

EMERGENCY FIXTURE SCHEDULE			
QUAN.	SYM.	TYPE	DESCRIPTION
1	A		ILLUMINATED EXIT SIGN & EMERGENCY LIGHT
0	B		EXIT SIGN WITH EMERGENCY LIGHT
2	C		EMERGENCY LIGHT
2	D		EMERGENCY LIGHT
3	(S)	INTELLIGENT SMOKE & HEAT DETECTOR WITH OPTIONAL CO SENEOR	FIRE ALARM SMOKE DETECTOR • SEE NFPA FIRE NARRATIVE NOTES, THIS PAGE
1		EMER. REMOTE HEAD ELECTRICAL SYSTEM (15 WATT MAX)	
1		HORN STROBE LIGHT	
1		STROBE LIGHT	

SAM'S FOOD

EMERGENCY FIXTURE PLAN

FOR
 90 MAIN STREET
 LENOX, MA.

DATE: 1/6/21
 SCALE: 1/4"=1'-0"
 DR. BY: SP
 FILE: 571101

CONSULTING AND DESIGN
 LEE MA

E-1
 A