

The Commonwealth of Massachusetts
TOWN OF LENOX

Filing fee is due with the petition. If hearing expenses exceed this amount the Zoning Board of Appeals will bill the petitioner.

The undersigned hereby petitions the Town of Lenox Zoning Board of Appeals for:

☒ A Special Permit for exception under the provisions of Section 5.3.5 of the Town of Lenox Zoning By-Law.

☐ A Variance from the following provisions of Section _____ of the Town of Lenox Zoning By-Law.

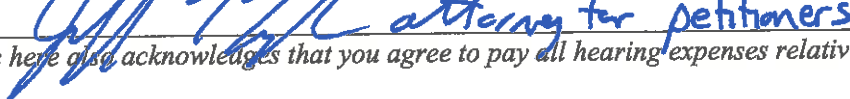
To permit the following use or activity (describe proposed use or activity):

See attached

For premises:

Owner of Record Mathew Lo and Mary Lo
 Address 130 Cliffwood Street Lenox MA 01240
 Map and Parcel Map 17 Lot 17
 Zoned as R1A
 Deed Reference Book 6436 Page 285

(This information is available from the Assessor's Office or townoflenox.com in the Property Assessments-Online Database section.)

Petitioner  attorney for petitioners
(Your signature here also acknowledges that you agree to pay all hearing expenses relative to this petition.)

Address (Mailing Address) c/o Lynch Scrimo PO Box 1787 Lenox MA 01240
 Telephone Number 413 637 1300
 Email address lynch@lenoxattorney.com
 Date 10-13-2022

Town of Lenox
Commonwealth of Massachusetts
Zoning Board of Appeals
Application for a Special Permit Amendment

Date of Application: 10-13-2022 Time: _____

Applicants: Mathew Lo and Mary Conrad Lo

Applicants are: Owners

Address: c/o Lynch Scrimo Attorneys, P.O. Box 1787, Lenox, MA 01240

Telephone number: (413) 637-1300

Address of location needing permit if not the same as above:

130 Cliffwood Street, Lenox, MA 01240

Map & parcel & book /page: Map 17, Lot 17 Berkshire Middle District: Book 6436, Page 285

Owner of property: Mathew Lo and Mary Conrad Lo

Owner's signature:  , 

Current use of property: residential

Nature of special permit: Mr. and Mrs. Lo received special permits (March 4, 2020, as amended October 8, 2020) for the renovation of their single-family home on 130 Cliffwood Street. The

Property is in the R1A zone. The special permit included the construction of a car port.

After receipt of the amendment to the Special Permit in October 8, 2020 and in consultation with their contractor. Mr. and Mrs. Lo determined a smaller car port would satisfy their needs. Mr.

and Mrs. Lo redesigned a small car port, but the redesign locates the structure closer to the abutting property line. Changing the design to better accommodate the set back is not viable

because shifting the car port north will place it directly on top of the sewer line.

Accordingly, Mr. and Mrs. Lo request amendment to their special permit to allow for the

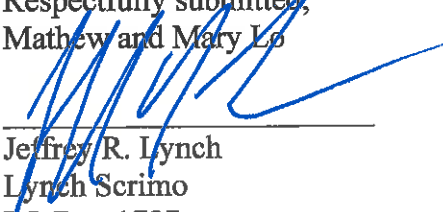
construction of a smaller car port that will be located closer to the adjacent property line.

The revised plans attached hereto shows the car port as previously approved. It measures 36' x 25' feet and at its closest point is 15' 10" from the southerly property line.

The redesigned car port is 12' x 20' and sits 10' feet from the southern property line.

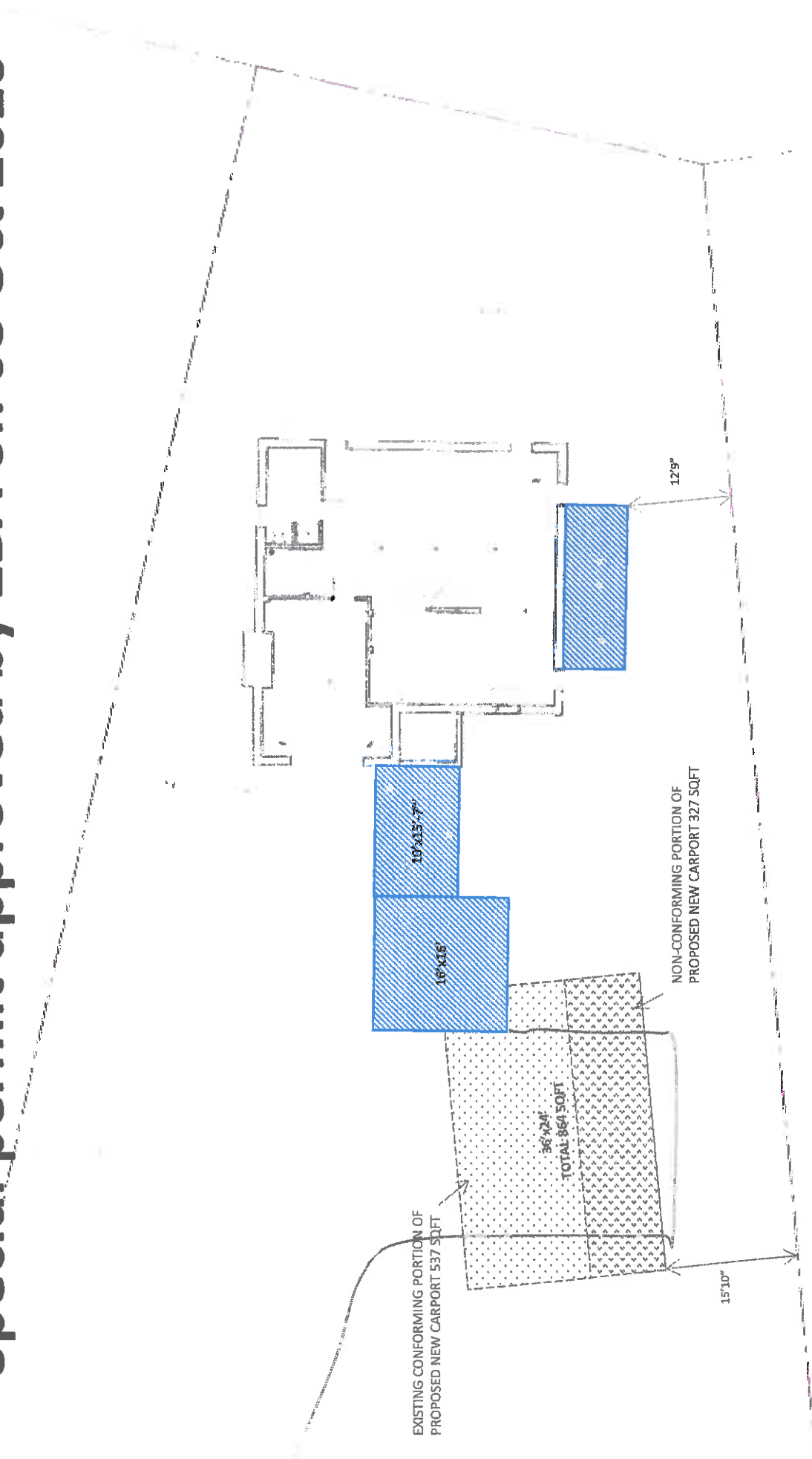
130 Cliffwood Street is a non-conforming lot because the current Town of Lenox Zoning Bylaw for a property in the R1A zone requires 1 acre of property, 150' of frontage and 150' of lot width at the building setback line. The lot is 35,227 sq. ft., the lot width at the setback line is less than 150' and the frontage is 70.05'. The non-conformity as to lot dimensions will not change.

Respectfully submitted,
Mathew and Mary Lo



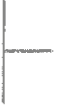
Jeffrey R. Lynch
Lynch Scrimo
PO Box 1787
Lenox, MA 01240
lynch@lenoxattorney.com

Special permit approved by ZBA on 08 Oct 2020



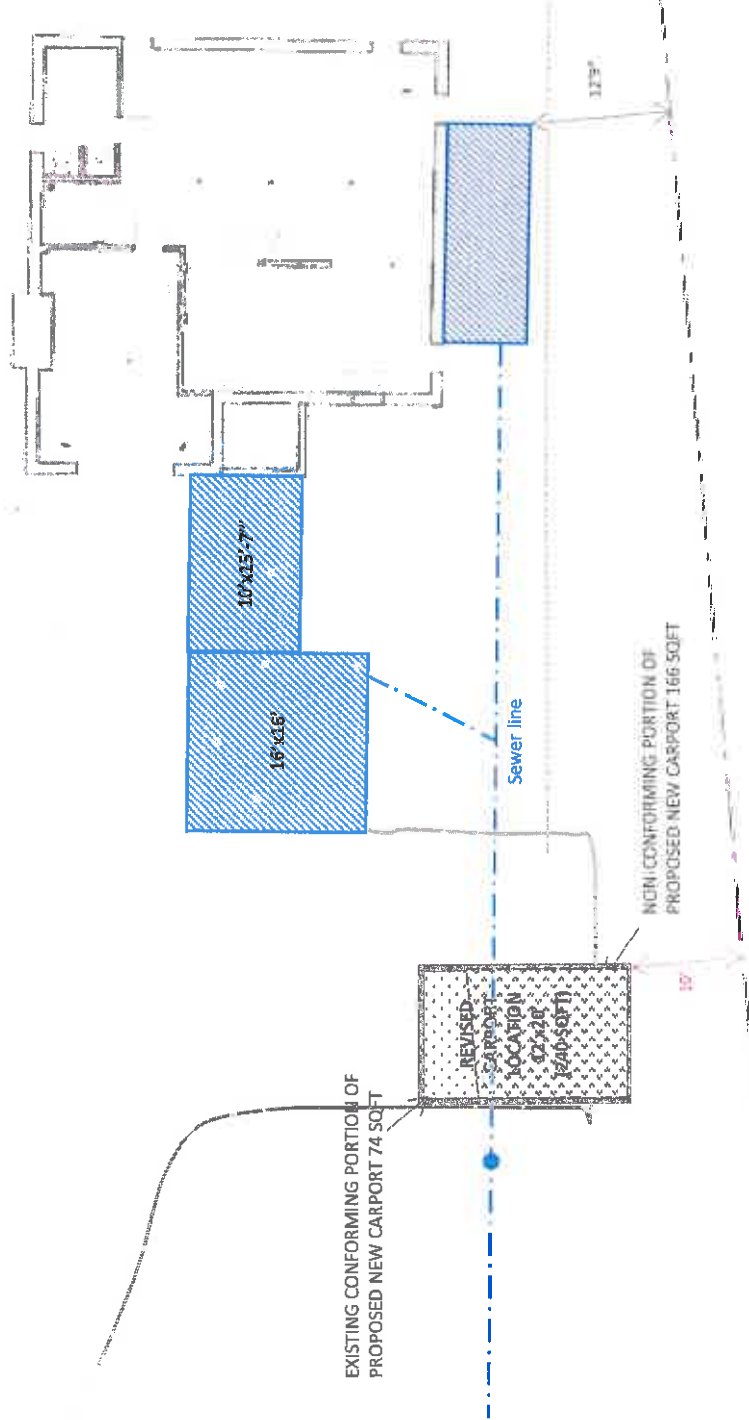
1. SITE PLAN - BASEMENT
25-100

NOV 10



Revised Carport Location Oct 2022

House renovations completed Mar 2022



EXISTING CONFORMING PORTION OF
PROPOSED NEW CARPORT 74 SQFT

REVISED
CARPORT
LOCATION
22'x28'
(616 SQFT)

Sewer line

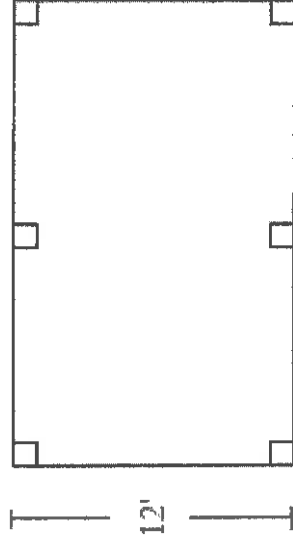
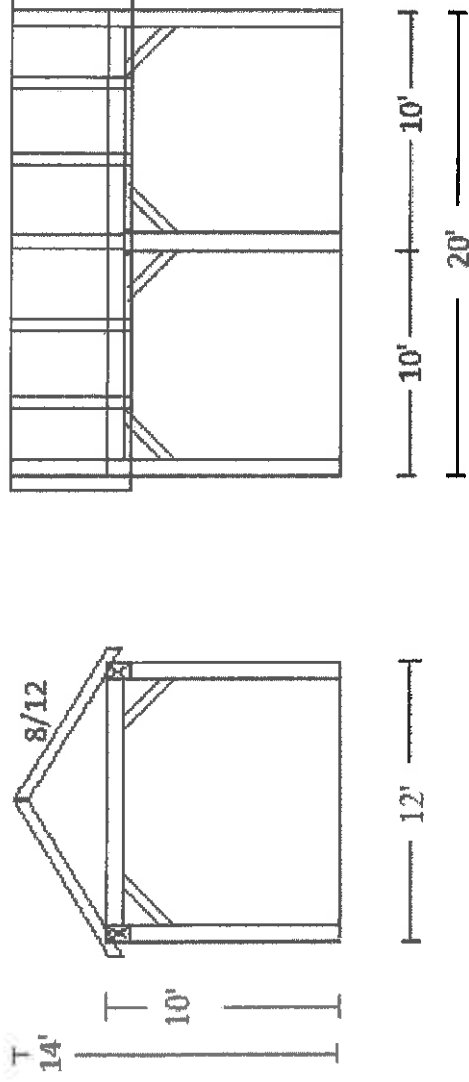
NON-CONFORMING PORTION OF
PROPOSED NEW CARPORT 166 SQFT

1. STEEL BASEMENT
1998

NOVA



Proposed Carport Construction



Layout:

- 12' x 20' footprint
- 10'-0" plate height
- 10½" roof overhangs / Gable & Eave / 8:12 roof pitch
- Roof structure: traditional timber rafters @ 4' intervals
- Wall structure: open air

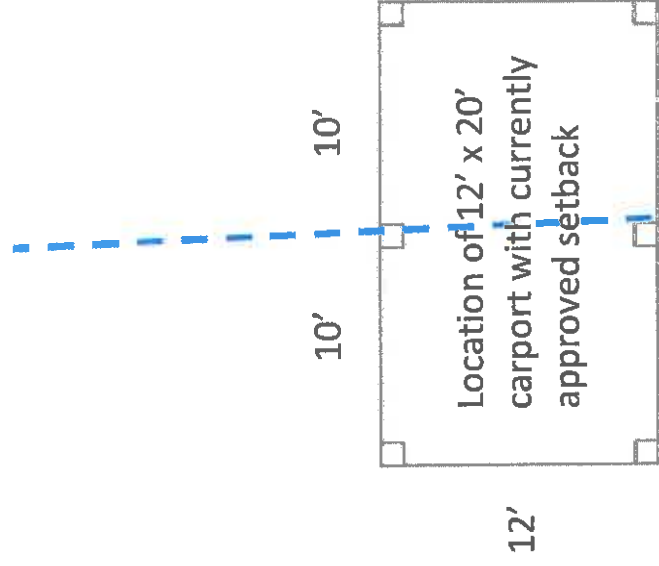
Frame:

- Rough sawn / full dimension pine timbers
- Mortise & tenon joinery. Hardwood pegs & timber lags

Blueprints:

- Stamped structural drawings by MA licensed engineer

Cliffwood Street



Cliffwood Street

