# CARMICHAEL RESIDENCE

#### **ADDRESS:**

14 CLIFFWOOD ST, LENOX, MA 01240

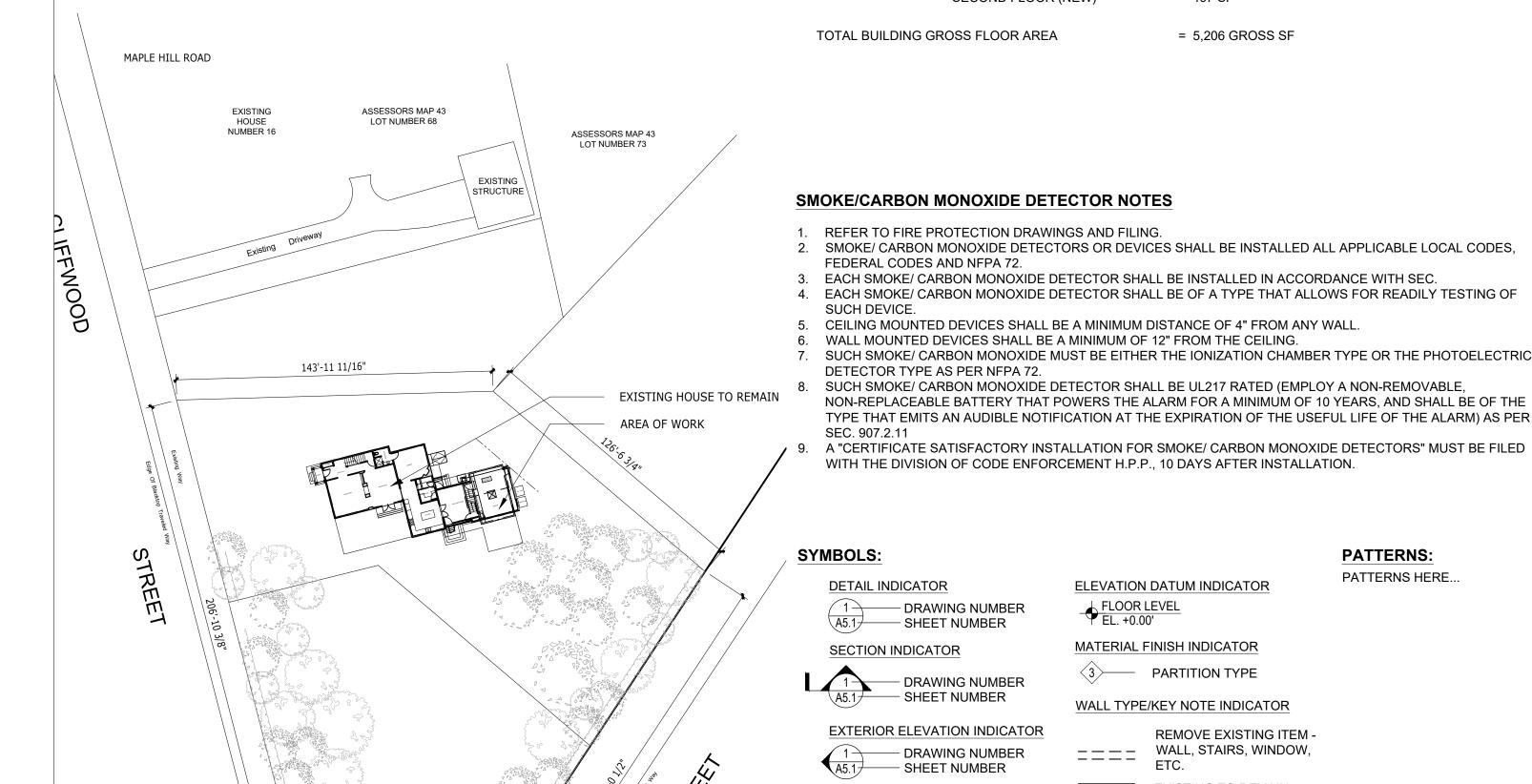
### **OWNERS:**

WILLIAM PELOSKY CAROLINE CARMICHAEL 14 CLIFFWOOD ST LENOX, MA 01240

#### **PROJECT TEAM:**

CLARK GREEN, & BEK ARCHITECTURE DESIGN 113 BRIDGE STREET GREAT BARRINGTON, MA 0123 OFFICE TEL: 413-528-5180 EMAIL: INFO@CLARKANDGREEN.COM

#### **PLOT PLAN** SCALE: 1" = 500'



ASSESSORS MAP 4: LOT NUMBER 198

#### **LIST OF DRAWINGS:**

A-001.00 - COVER SHEET

#### A-002.00 - EXISTING DWELLING STRUCTURE IMAGES

A100.00 - BASEMENT LEVEL DEMOLITION PLAN A101.00 - GROUND LEVEL DEMOLITION PLAN A102.00 - SECOND LEVEL DEMOLITION PLAN

A200.00 - BASEMENT LEVEL CONSTRUCTION PLAN A201.00 - GROUND LEVEL CONSTRUCTION PLAN

A202.00 - SECOND LEVEL CONSTRUCTION PLAN A310.00 - PROPOSED EXTERIOR ELEVATIONS

A311.00 - PROPOSED EXTERIOR ELEVATIONS

A410.00 - ORIGINAL WALL SECTIONS

**BUILDING INFORMATION** 

TYPE OF CONSTRUCTION:

BUILDING HEIGHT

STORIES ABOVE GRADE

**NEW CONSTRUCTION:** 

MAXIMUM HEIGHT ALLOWABLE

**EXISTING DWELLING STRUCTURE** 

PROPOSED GARAGE STRUCTURE

4. BUILDING AREA (CHAPTER 5)

GROSS BUILDING AREA (EACH FLOOR):

DRAWING NUMBER

— DRAWING NUMBER

- DRAWING NUMBER SHEET NUMBER

DRAWING LETTER

SHEET NUMBER

ROOM NAME

ROOM NUMBER

INTERIOR ELEVATION INDICATOR

ROOM INDICATOR

- SHEET NUMBER

CELLAR LEVEL (EXISTING)

GROUND FLOOR (EXISTING)

GROUND FLOOR (DEMOLITION)

SECOND FLOOR (EXISTING)

SECOND FLOOR (NEW)

1. USE GROUP CLASSIFICATION (CHAPTER 3)

2. CONSTRUCTION TYPE (CHAPTER 6)

PROJECT:

LOCATION:

#### **ANNOTATIONS:**

CARMICHAEL

ALTERATION

TYPE V

1472 SF

2375 SF

210 SF

1,152 SF

407 SF

**ELEVATION DATUM INDICATOR** 

MATERIAL FINISH INDICATOR

3 PARTITION TYPE

WALL TYPE/KEY NOTE INDICATOR

==== WALL, STAIRS, WINDOW, ETC.

EXISTING TO REMAIN

NEW CONSTRUCTION

**NEW FOUNDATION** 

LINE OF CEILING

OR WALL ABOVE

DOOR NUMBER

WINDOW NUMBER

REMOVE EXISTING ITEM

= 5.206 GROSS SF

**PATTERNS:** 

PATTERNS HERE.

SINGLE FAMILY

35'-0" ABOVE GRADE

31' - 4" ABOVE GRADE

29' - 10" ABOVE GRADE

14 CLIFFWOOD ST, LENOX, MA 01240

- 1. ALL WORK IS TO CONFORM TO ALL APPLICABLE CODES AND REGULATIONS. 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS
- AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED. INSPECTIONS AND CERTIFICATES.
- 4. THE CONTRACTOR WILL BECOME FAMILIAR WITH EXISTING CONDITIONS AND SHALL VERIFY EXISTING FIELD CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- 5. FOR GENERAL CONDITIONS REFER TO AIA DOCUMENT A107, 2007 STANDARD FORM AGREEMENT BETWEEN OWNER + CONTRACTOR FOR A PROJECT OF LIMITED SCOPE
- 6. ALL WORK IS TO BE WARRANTED FOR A PERIOD NO LESS THAN ONE YEAR. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- ALL ELECTRICIANS AND PLUMBERS INVOLVED IN THE WORK ARE TO BE
- 9. ELECTRICAL WORK SHALL BE FILED SEPARATELY BY THE ELECTRICAL
- SUBCONTRACTOR. 10. PLUMBING WORK SHALL BE FILED SEPARATELY BY PLUMBING
- SUBCONTRACTOR. 11. DEMOLITION IS TO BE PERFORMED IN AN ORDERLY MANNER, PER THE RESTRICTIONS, REGULATIONS, AND HOURS SET BY THE BUILDING MANAGEMENT. DEBRIS IS TO BE DISCARDED OFF SITE IN A PROPER MANNER
- AND NOT BE ALLOWED TO ACCUMULATE IN THE WORK AREA. 12. DIMENSIONS GIVEN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE
- 13. THE CONTRACTOR SHALL LAYOUT HIS OR HER OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING ELECTRICAL, ETC...)

#### PROJECT DESCRIPTION

PROPOSED APPLICATION TO DEMOLISH EXISTING SINGLE STORY GARAGE AND SEATING ROOM, CONNECTED TO THE EXISTING SINGLE-FAMILY DWELLING STRUCTURE LOCATED AT 14 CLIFFWOOD STREET. PROPOSED NEW TWO CAR, TWO STORY, GARAGE TO BE LOCATED IN THE SAME APPROXIMATE LOCATION OF THE EXISTING GARAGE, AT A MODIFIED FOOTPRINT. THE PROPOSED NEW GARAGE AND CONNECTION IS TO MATCH ALL EXISTING EXTERIOR FINISHES, COLORS, DETAILS, AND STYLE. ALL PROPOSED WINDOWS AND DOORS TO MATCH EXISTING MAIN DWELLING STRUCTURE MINOR ALTERATIONS WILL BE MADE TO THE INTERIOR OF THE MAIN DWELLING STRUCTURE. NO EXTERIOR WORK WILL BE PERFORMED ON THE MAIN DWELLING STRUCTURE. PROPOSED ALTERATION TO COMPLY WITH ALL TOWN AND DISTRICT CODES AND **BYLAWS** 

#### **GENERAL NOTES:**

- CONTRACTOR SHALL DO THIS WORK IN ACCORDANCE WITH LOCAL LAWS AND ORDINANCES. THE BUILDING PERMIT SHALL BE SECURED BY THE CONSTRUCTION MANAGER AND HE SHALL OBTAIN ALL OTHER PERMITS AND APPROVALS AS REQUIRED BY LAW FOR THE COMPLETION OF THE WORK. 2. THE SUBMISSION OF A PROPOSAL BY THE CONTRACTORS WILL BE CONSTRUED AS EVIDENCE THAT A CAREFUL AND THOROUGH EXAMINATION OF THE
- PREMISES HAS BEEN MADE. IT SHALL ALSO CONSTITUTE A REPRESENTATION THAT THE CONTRACTOR HAS CHECKED AND VERIFIED ALL QUANTITIES, WORK AND MATERIALS INVOLVED AND THAT HE SHALL TAKE RESPONSIBILITY FOR ANY DEFICIENCIES THEREIN
- BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH TRADE SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS; ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK. ALL OF THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS.
- WHICH ARE OBVIOUSLY INTENDED TO BE THE SAME EVEN THOUGH NOT SO DESIGNATED OR SPECIFICALLY NAMED BUT DO SERVE THE SAME FUNCTION THE WORK TO BE PERFORMED CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, TOOLS, TRANSPORTATION, SUPPLIES, FEES, MATERIALS, AND SERVICES IN ACCORDANCE WITH THESE NOTES AND DRAWINGS AND PERFORMING ALL OPERATIONS NECESSARY TO CONSTRUCT AND INSTALL COMPLETE AND IN SATISFACTORY CONDITION THE VARIOUS MATERIALS AND EQUIPMENT AT THE LOCATIONS SHOWN. IT IS INTENDED THAT THE DRAWINGS INCLUDE EVERYTHING REQUISITE AND NECESSARY TO FINISH THE ENTIRE WORK PROPERLY, NOTWITHSTANDING THE FACT THAT EVERY ITEM NECESSARILY INVOLVED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. ANY ITEM WHICH MAY BE REASONABLY CONSTRUED AS INCIDENTAL

WHENEVER AN ITEM IS SPECIFIED AND/OR SHOWN ON THE DRAWINGS BY DETAIL OR REFERENCE IT SHALL BE CONSIDERED TYPICAL FOR OTHER ITEMS

- TO THE PROPER AND SATISFACTORY COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTENT OF THESE NOTES AND DRAWINGS IS HEREBY THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF THE DRAWINGS AND NOTES TAKEN AS A WHOLE. SHOULD ANY ERROR OR DISCREPANCY APPEAR OR ANY DOUBT ARISE AS TO THE TRUE MEANING OF THE DRAWINGS OR NOTES. THE CONTRACTOR SHALL
- BRING SUCH ITEMS TO THE ATTENTION OF THE ARCHITECT BEFORE SUBMISSION OF PROPOSAL FOR EXPLANATION OR CORRECTION OF SAME. THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. TO INTERPRET AND EXPLAIN THE DRAWINGS OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT SAID ADDITIONAL INFORMATION OR DRAWINGS ARE TO BE OF EQUAL FORCE WITH THESE DRAWINGS.
- FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK BUT NOT CARRIED OUT FULLY FOR OTHER PORTIONS SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. IN EVERY CASE A MORE EXPENSIVE ITEM OR METHOD SHALL BE ASSUMED OVER A LESS EXPENSIVE ONE AND DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.
- 9. THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT AND OWNER. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURER'S LITERATURE, PERFORMANCE DATE, ETC. IN ORDER THAT THE ARCHITECT CAN EVALUATE THE PROPOSED SUBSTITUTION. IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION, ADJACENT CONSTRUCTION, OR THE WORK OF ANY OTHER CONTRACTOR OR TRADE, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE ACCOMPLISHED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. NO REQUESTS FOR SUBSTITUTES WILL BE ENTERTAINED BY THE ARCHITECT DUE TO CONTRACTOR'S FAILURE TO ORDER MATERIALS IN A TIMELY MANNER.
- 10. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT FOR ANY REASON COMPLY WITH ALL THE REQUIREMENTS OF THESE
- 11. THE GENERAL CONTRACTOR SHALL COORDINATE AND SUPERVISE THE WORK OF ALL CONTRACTORS AND SUB-CONTRACTORS. HE SHALL BE RESPONSIBLE FOR GIVING ALL TRADES SUCH INFORMATION, PLANS OR DETAILS AS MAY BE REQUIRED FOR THE PROPER INSTALLATION AND COMPLETION OF THEIR WORK.
- 12. THE CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS, SAMPLES, AND FIXTURE CUTS FOR THE ARCHITECT'S REVIEW AS REQUIRED AND/OR INDICATED ON DRAWINGS. THE ARCHITECT'S REVIEW SHALL NOT BE CONSTRUED AS AN INDICATION THAT SUBMITTAL IS CORRECT OR SUITABLE NOR THAT WORK REPRESENTED BY SUBMITTAL COMPLIES WITH THE DRAWINGS, EXCEPT AS TO MATTERS OF FINISH, COLOR, AND OTHER ESTHETIC MATTERS. ACTION NOTED ABOVE DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO COORDINATE ALL TRADES AND TO CHECK QUANTITIES AND DIMENSIONS AGAINST CONDITIONS IN THE FIELD. CONTRACTORS AND VENDORS SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS ON THEIR DRAWINGS.
- 13. ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS CONTRACT SHALL BE NEW AND OF THE BEST QUALITY OF KINDS SPECIFIED, ALL SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE USE OF OLD OR SECOND-HAND MATERIALS IS STRICTLY FORBIDDEN. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND WORKMANSHIP. MATERIALS SHALL BE USED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. UPON REQUEST, THE MANUFACTURER'S REPRESENTATIVE SHALL GO TO THE SITE AND INSTRUCT THE MECHANICS IN THE USE OF THE MATERIALS OR SHALL SUPERVISE THEIR USE.
- 14. FOR THE EXECUTION OF THE WORK TO BE PERFORMED UNDER THIS CONTRACT AND FOR THE MANUFACTURE OR TRANSPORTATION OF ANY OF THE MATERIALS OR EQUIPMENT TO BE USED OR INSTALLED, THE CONTRACTOR SHALL EMPLOY ONLY SUCH LABOR THROUGHOUT AS WILL NOT INTERFERE WITH THE SPEEDY AND UNINTERRUPTED COMPLETION OF THE PROJECT. ALL WORK SHALL BE DONE BY MECHANICS SKILLED IN THEIR TRADE AND
- SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE BEST TRADE PRACTICES. 15. ANY MATERIALS DELIVERED OR WORK PERFORMED, CONTRARY TO THE DRAWINGS AND SPECIFICATIONS AND APPROVED SHOP DRAWINGS, SHALL BE REMOVED BY THE CONTRACTOR AT THIS OWN EXPENSE, AND THE SAME SHALL BE REPLACED WITH OTHER MATERIALS OR WORK SATISFACTORY TO THE ARCHITECT. THE CONTRACTOR SHALL ALSO ASSUME THE COST OF REPLACING THE WORK WHICH MAY BE DISTURBED.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY LAYING OUT THE WORK AND FOR THE LINES AND MEASUREMENTS HEREIN. HE SHALL ESTABLISH NECESSARY REFERENCE LINES AND PERMANENT BENCH MARKS FROM WHICH BUILDING LINES AND ELEVATIONS SHALL BE TAKEN. ELEVATION HEIGHTS OF ALL WORK INCLUDING BUT NOT LIMITED TO SOFFITS, CEILINGS, DOORS, HOLLOW METAL SHALL BE TRUE AND LEVEL WITHIN A MAXIMUM TOLERANCE OF 1/8" OVERALL THE ENTIRE PROJECT.
- 17. A. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE CRATES, CARTONS AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY.
- B. ELECTRICAL CLOSETS, PIPE AND DUCT SHAFTS, CHASES, FURRED SPACES AND SIMILAR SPACES WHICH ARE GENERALLY UNFINISHED SHALL BE CLEANED AND LEFT FREE FROM RUBBISH, LOOSE PLASTER, MORTAR DRIPPINGS, EXTRANEOUS CONSTRUCTION MATERIALS, DIRT AND DUST.
- C. CARE SHALL BE TAKEN BY WORKMEN NOT TO MARK, SOIL, OR OTHERWISE DEFACE FINISHED SURFACES. IN THE EVENT THAT FINISHED SURFACES BECOME DEFACED, CLEAN AND RESTORE SUCH SURFACES TO THEIR ORIGINAL CONDITION. IF THIS IS NOT POSSIBLE, DAMAGED SURFACES SHALL BE

#### D. CLEAN UP IMMEDIATELY UPON COMPLETION OF EACH TRADE'S WORK.

E. CLEAN AREAS OF THE BUILDING IN WHICH PAINTING AND FINISHING WORK IS TO BE PERFORMED JUST PRIOR TO THE START OF THIS WORK, AND MAINTAIN THESE AREAS IN SATISFACTORY CONDITION FOR PAINTING AND FINISHING.

F. THIS CLEANING INCLUDES THE REMOVAL OF TRASH AND RUBBISH FROM THESE AREAS, BROOM CLEANING OF FLOORS, THE REMOVAL OF ANY PLASTER, MORTAR, DUST AND OTHER EXTRANEOUS MATERIALS FROM FINISH SURFACES, INCLUDING BUT NOT LIMITED TO, MISCELLANEOUS METAL, WOODWORK, PLASTER, GYPSUM DRYWALL, MASONRY, CONCRETE, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, CONDUIT, AND SURFACES VISIBLE AFTER PERMANENT FIXTURE INDUCTION UNIT COVERS, GRILLES, REGISTERS AND OTHER SUCH FIXTURES OR DEVICES ARE IN

G. IN ADDITION TO THE CLEANING SPECIFIED ABOVE AND THE MORE SPECIFIC CLEANING WHICH MAY BE REQUIRED IN VARIOUS SECTIONS OF THE SPECIFICATIONS, THE PREMISES SHALL BE PREPARED FOR OCCUPANCY BY:

- (I) A THOROUGH CLEANING THROUGHOUT INCLUDING WASHING OR CLEANING BY OTHER APPROVED METHODS OF ALL FLOORS AND SURFACES ON
- WHICH DIRT OR DUST HAS COLLECTED AND BY WASHING GLASS, REMOVING ALL PAINT, PUTTY AND STAINS THEREFROM. (II) DO ALL OTHER CLEANING AS REQUIRED TO TURN THE BUILDING AND PREMISES OVER TO THE OWNER IN A SPOTLESS AND ORDERLY CONDITION.
- (III) PROVIDING AND MAINTAINING ADEQUATE FLOOR PROTECTION ON FINISHED FLOORS AS REQUIRED.
- (IV) LEAVING ALL FIXTURES AND EQUIPMENT IN AN UNDAMAGED, BRIGHT, CLEAN, POLISHED CONDITION. (V) CLEAN AND POLISH ALL HARDWARE, AND OTHER METAL WORK.
- 18. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF HIS WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, HE SHALL PROPERLY REPAIR AND REPLACE ALL WORK
- 19. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT AND ACCEPTANCE BY THE OWNER
- 20. PROTECT OWNER'S PROPERTY, EQUIPMENT, RESIDENTS AND EMPLOYEES FROM INJURY AND DAMAGE. 21. ALL HVAC, PLUMBING, SPRINKLER AND ELECTRICAL LINES ARE TO BE COORDINATED SO THAT NO CONFLICTS OCCUR. ANY CONFLICTS WHICH RESULT IN A RELOCATION OF A FINISHED SURFACE WILL BE DONE WITH MINIMUM DISRUPTION TO THE OPERATIONS OF THE EXISTING FACILITY DURING CONSTRUCTION/ RENOVATION AND MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- 22. CONTRACTOR SHALL CONSULT WITH ELECTRICAL AND PLUMBING SUB-CONTRACTORS FOR LOCATIONS OF CONDUIT AND PIPES IN FOUNDATION, SLABS ON GRADE, AND EXTERIOR WALLS AND SHALL INSTALL WATERTIGHT PIPE SLEEVES AT THEIR RESPECTIVE LOCATIONS. 23. A SET OF THE INSTRUCTION MANUALS AND INSTALLATION INSTRUCTIONS OF ALL EQUIPMENT AND ACCESSORIES INSTALLED IN THIS JOB SHALL BE
- KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AT THE COMPLETION OF THE JOB. THE CONTRACTOR WILL PROVIDE THE OWNER WITH VIDEO TAPED INSTRUCTIONS AND DEMONSTRATIONS OF NEW EQUIPMENT START-UP AND MAINTENANCE INSTRUCTIONS.
- 25. PROVIDE ADEQUATE BACKUP AND BLOCKING FOR ALL WALL OR CEILING MOUNTED EQUIPMENT, ARCHITECTURAL WOODWORK, HANDRAILS LIGHTING OR OTHER MISCELLANEOUS ITEMS AS SHOWN ON DRAWINGS TO ASSURE A SECURE INSTALLATION. 26. FOR ALL PARTITIONS REFER TO PARTITION SYMBOLS ON DRAWINGS AND THE PARTITION TYPE SCHEDULE WHICH SHOWS PARTITION CORES AND FINISHES. REFER TO LIFE SAFETY DRAWINGS FOR LOCATION OF 1-HOUR AND 2-HOUR PARTITIONS, SMOKE PARTITIONS AND SMOKE COMPARTMENT

24. THE CONTRACTOR IS TO PROVIDE LOOSE ANGLE IRON OR CMU LINTELS OVER ALL DUCTS PASSING THROUGH MASONRY PARTITIONS.

- 27. AT ALL ROOMS WITH FLOOR DRAINS: PITCH FINISHED FLOOR TO DRAINS.
- 28. MAINTAIN ACCESS TO ALL POINTS OF EGRESS DURING ENTIRE CONSTRUCTION PERIOD.
- 29. A LIGHT OR LIGHTS SHALL BE PROVIDED AT OR NEAR THE OUTSIDE OF THE FRONT ENTRANCEWAY OF THE BUILDING PROVIDING NOT LESS THAN 5-FOOTCANDLES (53.82 LUX) INTENSITY MEASURED AT THE FLOOR LEVEL FOR THE FULL WIDTH OF THE ENTRANCEWAY. (PER BC 1008.4.1)
- 30. BUILDING SHALL BE PROVIDED WITH AN INTERCOMMUNICATION SYSTEM LOCATED AT THE DOOR GIVING ACCESS TO THE MAIN ENTRANCE LOBBY AS
- 31. CONTRACTOR SHALL PROVIDE A SCHEDULE WITH CRITICAL ROUTES FOR THE WORK TO BE PERFORMED
- 32. GEN WAVERS TO BE PROVIDED @ COMPUTATION OF EACH PHASES W/ PAYMENT REQUISITIONS SUBMITTED FOR APPROVAL.

#### **CLARK GREEN + BEK ARCHITECTURE DESIGN**

GREAT BARRINGTON, MA 01230

**BERKSHIRES STUDIO** 113 BRIDGE STREET

PHONE + 413 528 5180 **NEW YORK STUDIO** 28 WEST 27TH STREET, #703

PHONE + 212 219 9909 CONSULTANTS

NEW YORK, NY 10001

**GENERAL NOTES** 1. DO NOT SCALE DRAWINGS.

- 2. DAIMENSIONS GOVERN. 3. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED
- **OTHERWISE** 4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK
- 5. ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY **DISCREPANCIES ON** DRAWINGS, OR IN THE FIELD,

BY THE CONTRACTOR, BEFORE EXECUTING ANY WORK.



PROFESSIONAL SEAL

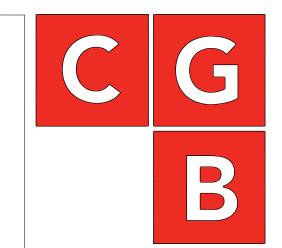
2/28/24 LENOX HDC DATE REMARKS

PROJECT TITLE

SHEET TITLE

COVER SHEET

SHEET NUMBER



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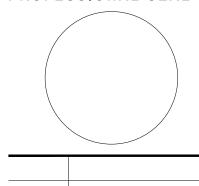
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PROJECTED NORTH

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SHEET TITLE

**EXISTING DWELLING** STRUCTURE IMAGES

SHEET NUMBER

01 VIEW FROM CLIFFWOOD ST SCALE: NTS

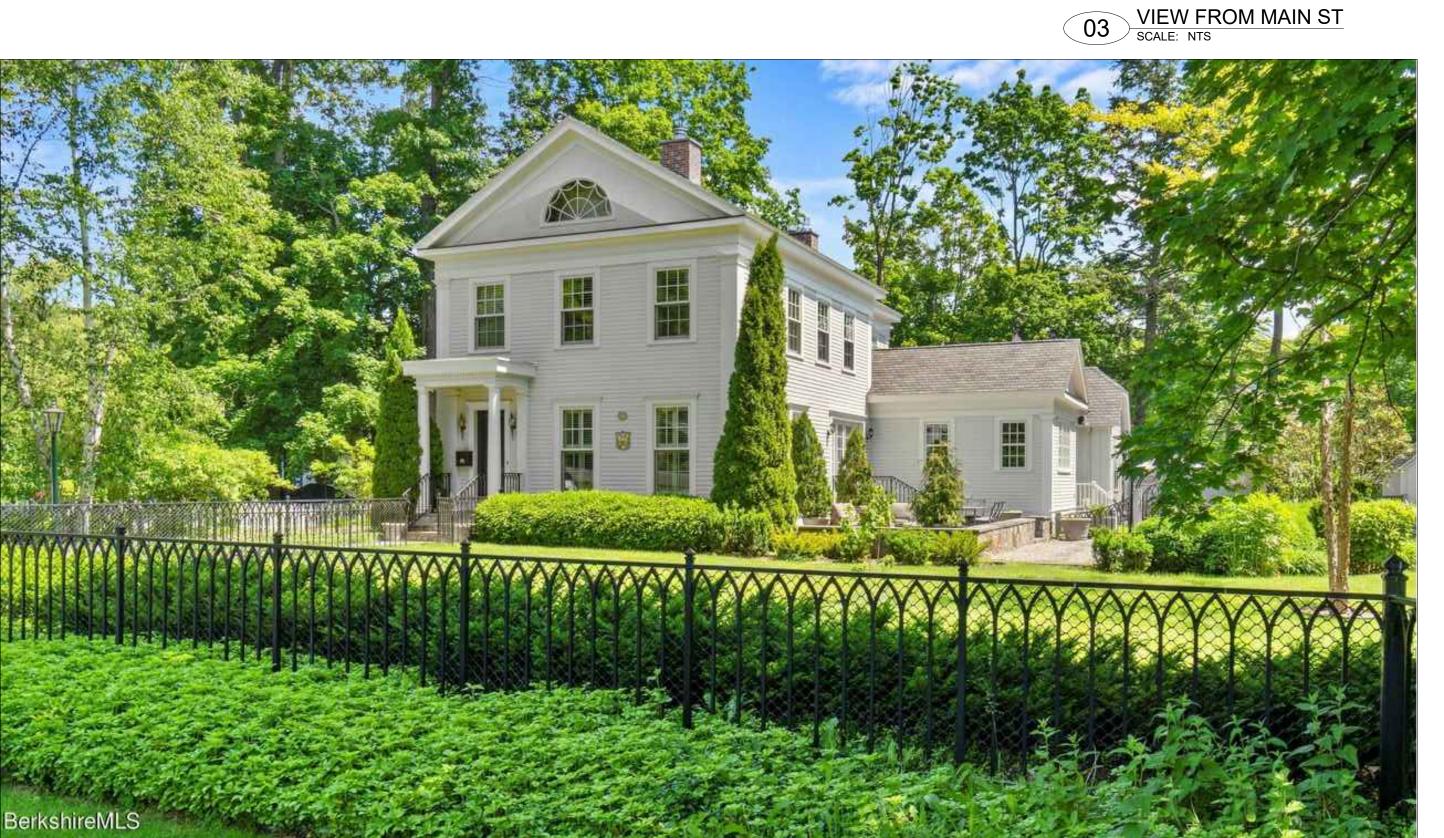
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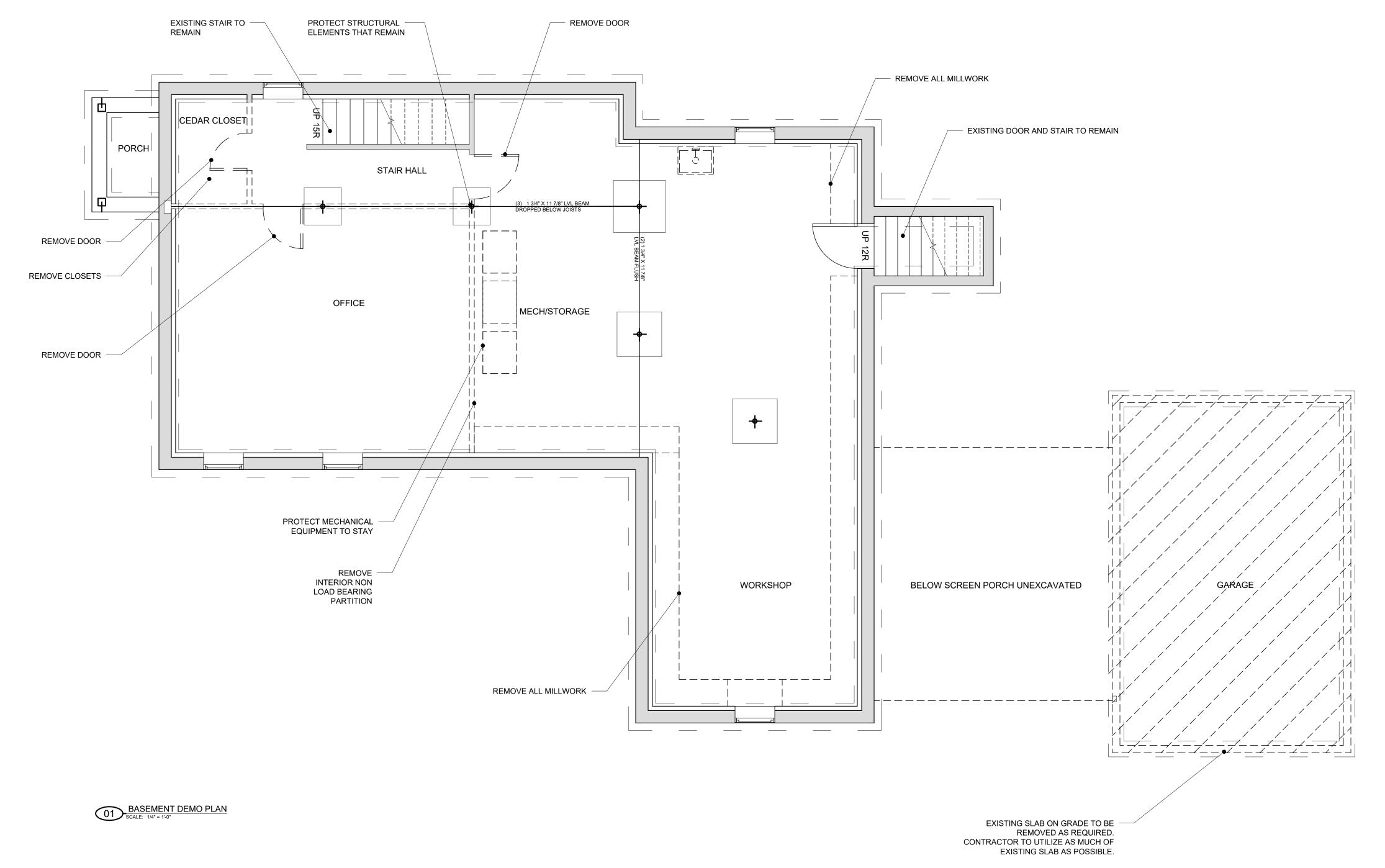






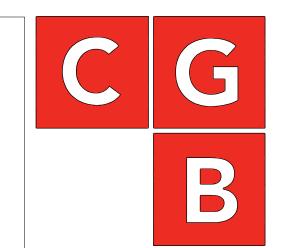
VIEW FROM MAIN ST OF GARAGE
SCALE: NTS





#### NOTES FOR EXISTING CONDITIOONS

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- CONDITIONS.
- 3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



#### **CLARK GREEN + BEK** ARCHITECTURE DESIGN

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CONSULTANTS

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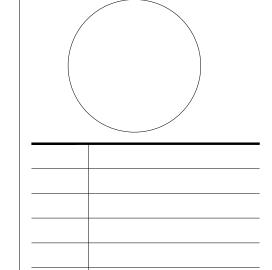
PROCEEDING WITH THE WORK. 5. ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES ON DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE

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EXECUTING ANY WORK.

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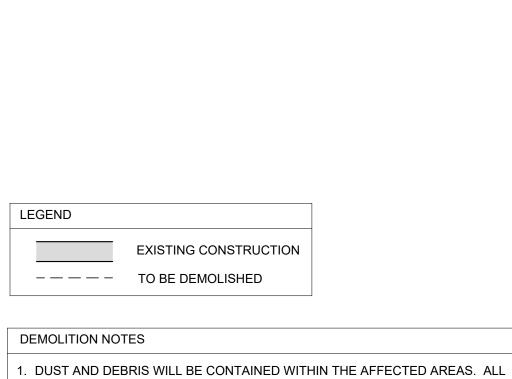
PROJECT TITLE

DATE REMARKS

SHEET TITLE

**BASEMENT LEVEL** DEMO PLAN

SHEET NUMBER



OR ADJACENT PROPERTIES.

INCLUDED.

2. ALL EXISTING PLUMBING ROUGH-IN TO REMAIN.

7. REMOVE BASEBOARDS THROUGHOUT

EFFORTS WILL BE MADE TO PREVENT INFILTRATION INTO ADJACENT LIVING SPACE,

3. G.C. TO PROVIDE TEMPORARY POWER AND LIGHTING, AS REQUIRED.

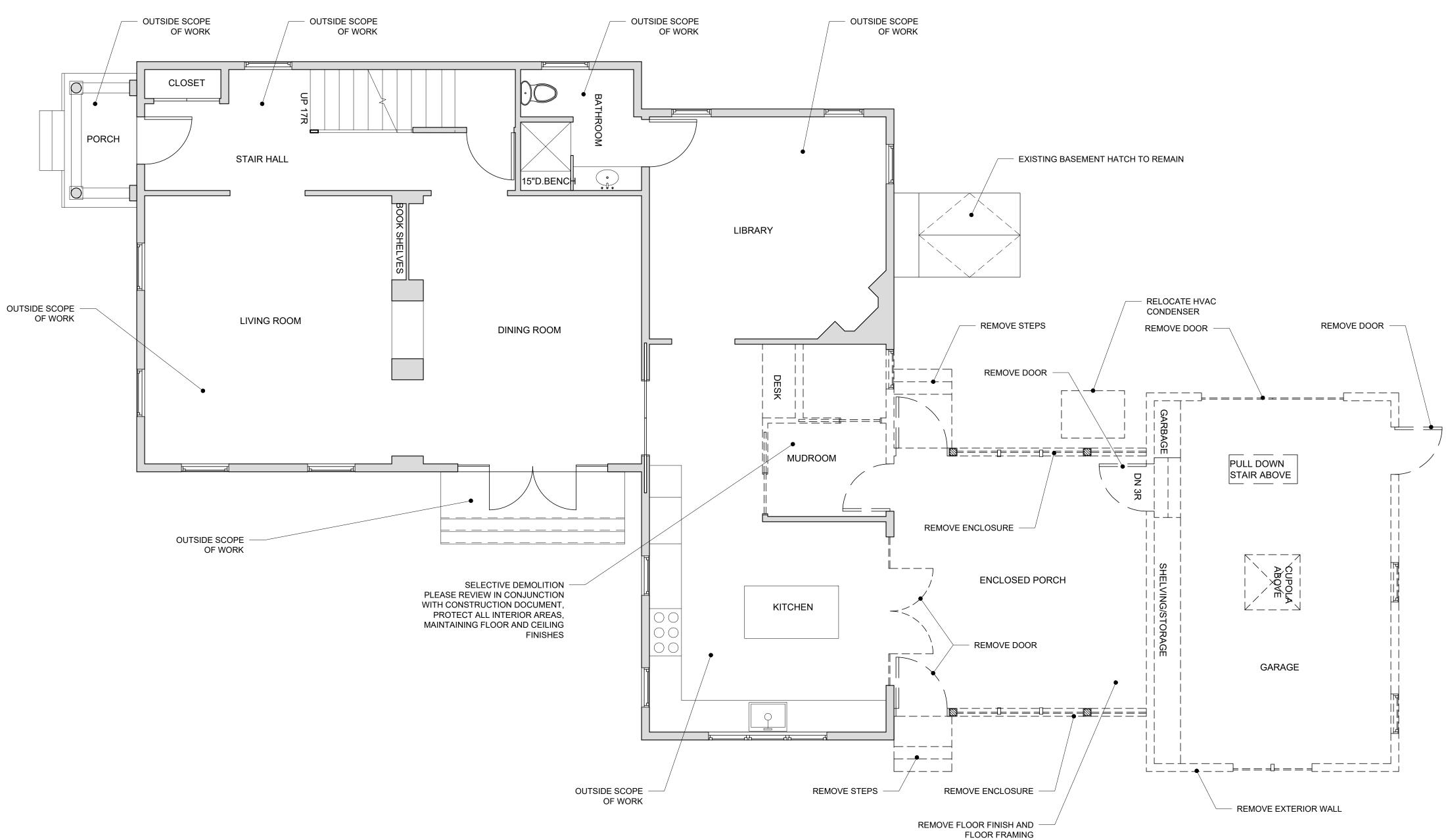
WITH OWNER AND BUILDING A MINIMUM OF ONE WEEK IN ADVANCE.

GREEN DUST. NO DEBRIS WILL BE STORED ON PREMISES.

4. ALL REMOVALS AND DEMOLITION NOT SPECIFICALLY IDENTIFIED WITHIN THIS DRAWING, BUT REQUIRED TO COMPLETE THE SCOPE OF WORK ARE TO BE

5. ANY REQUIRED ELECTRICAL OR PLUMBING SHUTDOWNS WILL BE COORDINATED

6. G.C. RESPONSIBLE FOR HAULING ALL DEMOLITION, CONSTRUCTION DEBRIS, AND

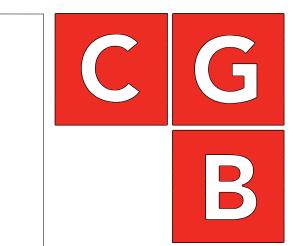


GROUND FLOOR DEMO PLA

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- CONDITIONS.

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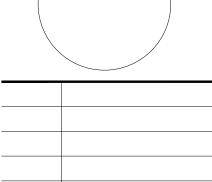
- OTHERWISE.

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TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL



2/28/24 LENOX HDC
DATE REMARKS

PROJECT TITLE

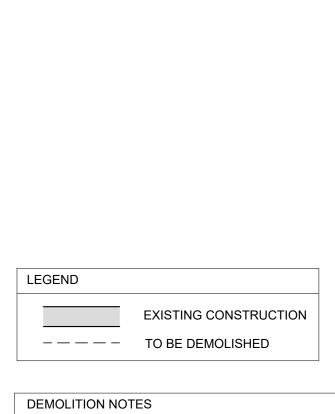
SARMICHAEL
SESIDENCE

SHEET TITLE

GROUND LEVEL DEMO PLAN

SHEET NUMBER

A-101.00



OR ADJACENT PROPERTIES.

INCLUDED.

2. ALL EXISTING PLUMBING ROUGH-IN TO REMAIN.

7. REMOVE BASEBOARDS THROUGHOUT

1. DUST AND DEBRIS WILL BE CONTAINED WITHIN THE AFFECTED AREAS. ALL

4. ALL REMOVALS AND DEMOLITION NOT SPECIFICALLY IDENTIFIED WITHIN THIS DRAWING, BUT REQUIRED TO COMPLETE THE SCOPE OF WORK ARE TO BE

5. ANY REQUIRED ELECTRICAL OR PLUMBING SHUTDOWNS WILL BE COORDINATED

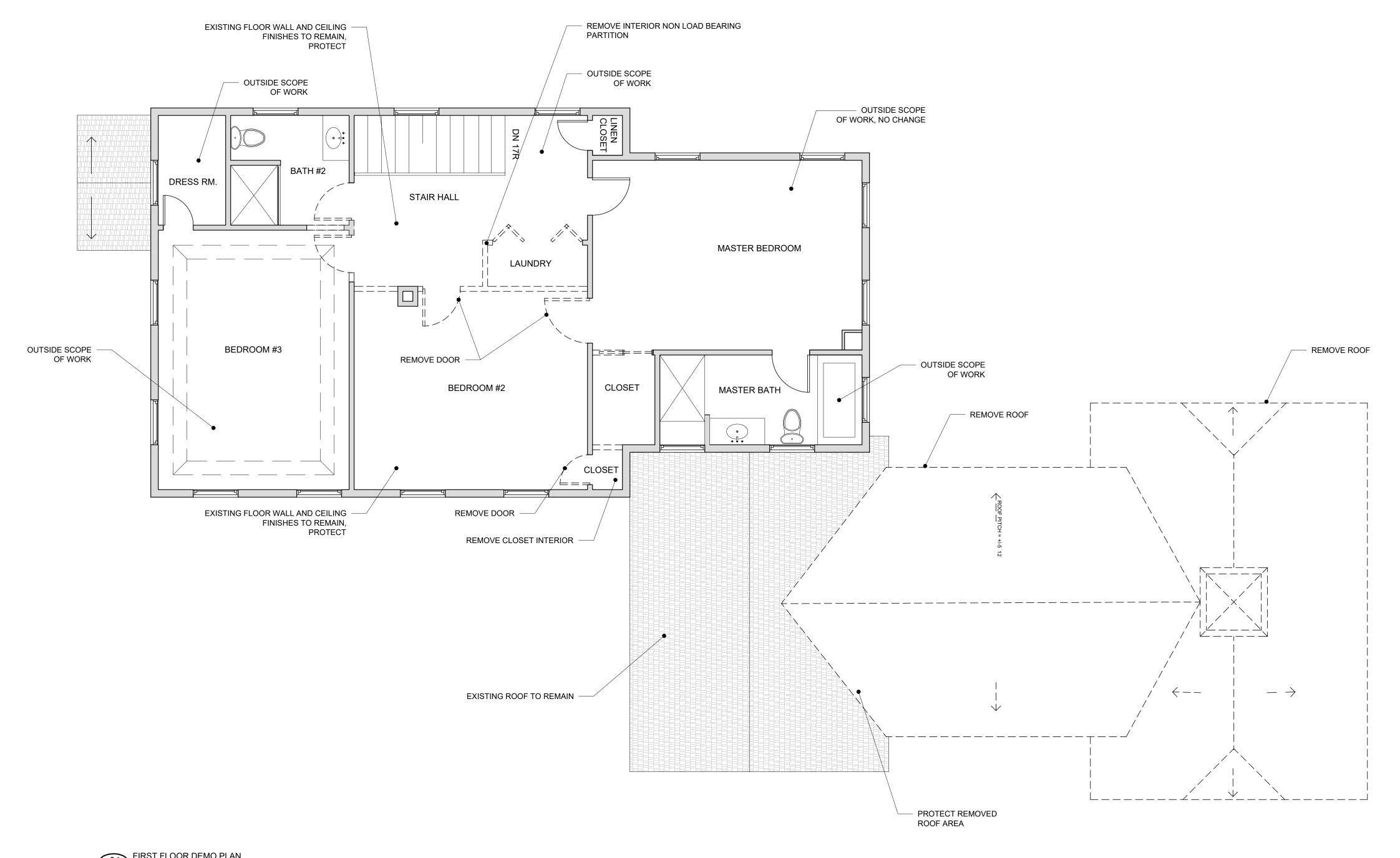
6. G.C. RESPONSIBLE FOR HAULING ALL DEMOLITION, CONSTRUCTION DEBRIS, AND

3. G.C. TO PROVIDE TEMPORARY POWER AND LIGHTING, AS REQUIRED.

WITH OWNER AND BUILDING A MINIMUM OF ONE WEEK IN ADVANCE.

GREEN DUST. NO DEBRIS WILL BE STORED ON PREMISES.

EFFORTS WILL BE MADE TO PREVENT INFILTRATION INTO ADJACENT LIVING SPACE,



NOTES FOR EXISTING CONDITIOONS

- 1. EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY. 2. CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD
- CONDITIONS.
- 3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.

#### **CLARK GREEN + BEK** ARCHITECTURE DESIGN

BERKSHIRES STUDIO 113 BRIDGE STREET GREAT BARRINGTON, MA 01230

PHONE + 413 528 5180 **NEW YORK STUDIO** 28 WEST 27TH STREET, #703 NEW YORK, NY 10001

PHONE + 212 219 9909 CONSULTANTS

**GENERAL NOTES** 

1. DO NOT SCALE DRAWINGS. 2. DAIMENSIONS GOVERN.3. ALL DIMENSIONS ARE IN FEET

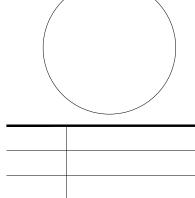
AND INCHES UNLESS NOTED

- OTHERWISE. 4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- 5. ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES ON DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE EXECUTING ANY WORK.

TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL



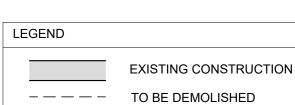
2/28/24 LENOX HDC DATE REMARKS

PROJECT TITLE

SHEET TITLE

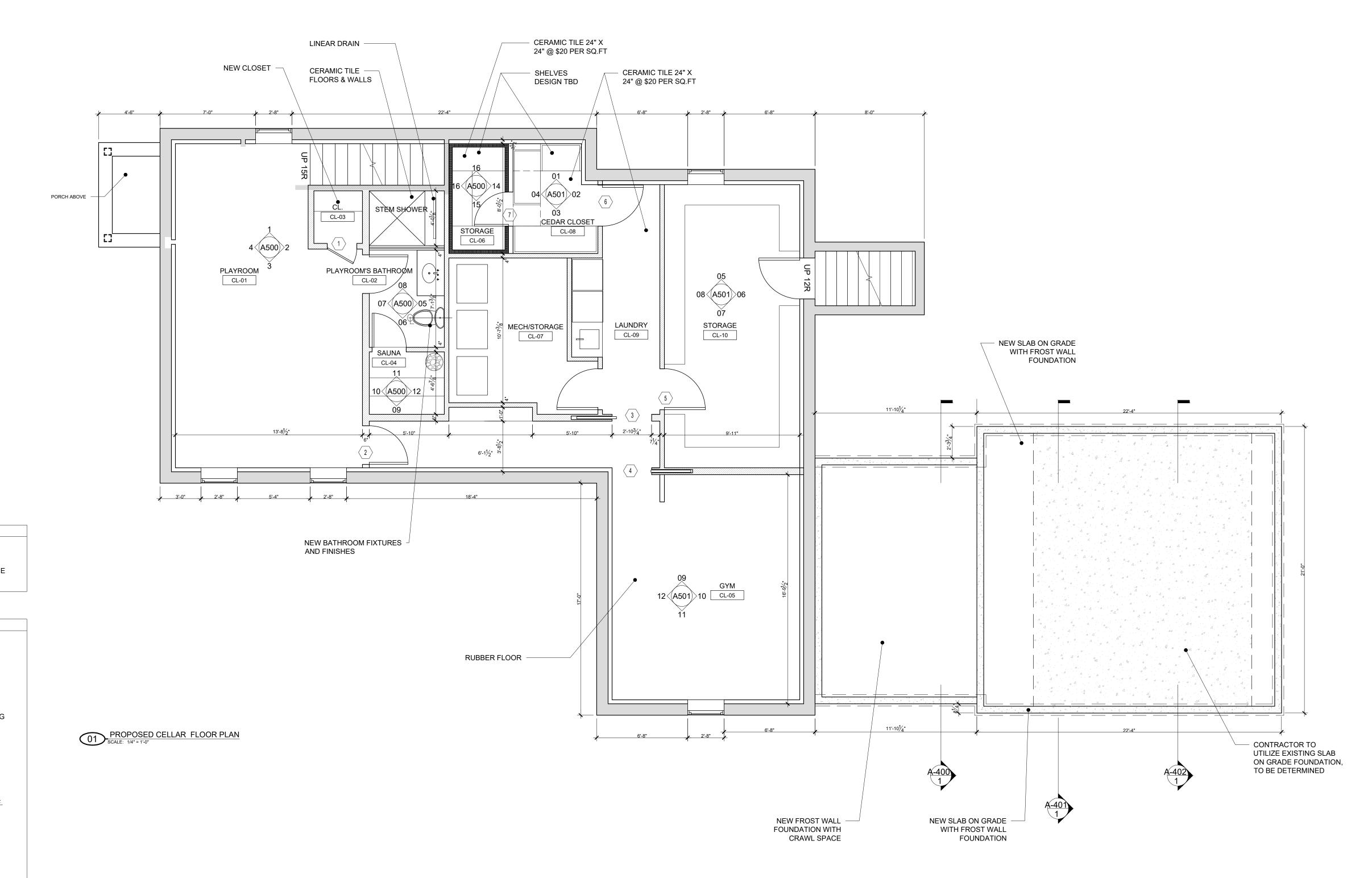
FIRST LEVEL **DEMO PLAN** 

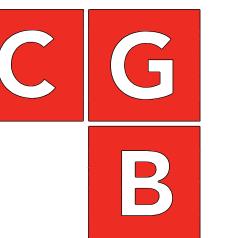
SHEET NUMBER



#### DEMOLITION NOTES

- 1. DUST AND DEBRIS WILL BE CONTAINED WITHIN THE AFFECTED AREAS. ALL EFFORTS WILL BE MADE TO PREVENT INFILTRATION INTO ADJACENT LIVING SPACE,
- OR ADJACENT PROPERTIES. 2. ALL EXISTING PLUMBING ROUGH-IN TO REMAIN.
- 3. G.C. TO PROVIDE TEMPORARY POWER AND LIGHTING, AS REQUIRED. 4. ALL REMOVALS AND DEMOLITION NOT SPECIFICALLY IDENTIFIED WITHIN THIS DRAWING, BUT REQUIRED TO COMPLETE THE SCOPE OF WORK ARE TO BE
- INCLUDED. 5. ANY REQUIRED ELECTRICAL OR PLUMBING SHUTDOWNS WILL BE COORDINATED
- WITH OWNER AND BUILDING A MINIMUM OF ONE WEEK IN ADVANCE. 6. G.C. RESPONSIBLE FOR HAULING ALL DEMOLITION, CONSTRUCTION DEBRIS, AND
- GREEN DUST. NO DEBRIS WILL BE STORED ON PREMISES.
- 7. REMOVE BASEBOARDS THROUGHOUT





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CONSULTANTS

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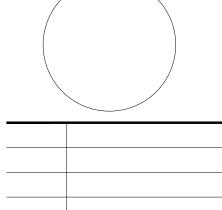
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  EXECUTING ANY WORK.

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2/28/24 LENOX HDC DATE REMARKS

PROJECT TITLE

AAAMICTAFI RESIDENCE 14 CLIFFWOOD ST

SHEET TITLE

CELLAR LEVEL CONSTRUCTION PLAN

SHEET NUMBER

A-200.00

### NOTES FOR EXISTING CONDITIOONS

- EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY.
- 2. CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD CONDITIONS.
- 3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.

#### CONSTRUCTION NOTES

- 1. CONTRACTOR TO PROVIDE LAYOUT FOR ARCHITECT'S APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- DIMENSIONS ARE TO FINISHED FACE OF PARTITIONS, DOOR
   OPENINGS, OR MILLWORK.

   FIRE TREATED BLYWOOD BLOCKING TO BE PROVIDED AT ALL.
- 3. FIRE TREATED PLYWOOD BLOCKING TO BE PROVIDED AT ALL LOCATIONS TO RECEIVE WALL MTD. CABINETS, EQUIPMENT OR ACCESSORIES.
- 4. G.C. IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS. ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THAT PORTION OF THE WORK.
- WHERE NEW PARTITIONS ALIGN WITH EXISTING PARTITIONS, A SMOOTH, CONTINUOUS TRANSITION BETWEEN OLD AND NEW WILL BE PROVIDED. VISIBLE JOINTS WILL NOT BE ACCEPTED.
   G.C. TO PROVIDE ALL MATERIALS, EQUIPMENT, APPLIANCES AND
- FIXTURES UNLESS NOTED "PROVIDED BY OWNER" SKIM AND PAINT ALL EXISTING WALL AND CEILING SURFACES.
- 7. NEW FLOORS TO BE INSTALLED ABOVE EXISTING UNLESS
- OTHERWISE NOTED.

  8. SKIM AND PAINT ALL WALL SURFACES, UNLESS NOTED OTHERWISE.

  9. WHERE NEW GYPSUM WALLBOARD SURFACES ABUT EXISTING SURFACES, ALL TRANSITIONS ARE TO BE FINISHED FLUSH &
- SMOOTH.

  10. CONTRACTOR TO PROVIDE FIRE STOPPING WHERE EXISTING FIRE-STOPPING HAS BEEN DISTURBED AND/OR WILL BE REQUIRED IT IS TO BE INSTALLED. ALL FIRE-STOPPING IS TO BE CODE COMPLIANT AND COMPLY WITH APPLICABLE DOB CODES AND REGULATIONS
- AND IS TO INCLUDE UL APPROVED DETAILS AND MATERIALS.

  11. ANY WORK PERFORMED ON WALLS, CEILINGS AND/OR FLOORS COMMON TO OTHER HABITABLE SPACES, PUBLIC SPACES, CHASES/SHAFTWAYS OR TO THE EXTERIOR SHALL NOT LOWER THEIR FIRE RATINGS. CONTRACTOR RESPONSIBLE TO MAINTAIN
- RATING AND/OR PROVIDE ADEQUATE RATING AT ANY DISTURBED OR EXPOSED LOCATIONS.

  12. CONTRACTOR RESPONSIBLE TO PROVIDE ADEQUATE RATING PER CODE WHERE STEEL BEAMS OR COLUMNS HAVE BEEN EXPOSED OR ARE TO BE EXPOSED THEN THEY SHALL BE FIREPROOFED TO
- MATCH THE EXISTING FIRE RATING.

  13. CONTRACTOR TO NOTIFY OWNER/ARCHITECT/BUILDING

  MANAGEMENT IF ANY FIREPROOFING OR FIRESTOPPING IS FOUND

  TO BE INADEQUATE
- 14. THE SURFACES OF THE FLOOR SLAB, CEILING SLAB, STRUCTURAL COLUMNS AND BEAMS/GIRDERS ARE NOT TO BE NOTCHED OR CHANNELED TO ACCOMMODATE ANY OF THE WORK BEING DONE.

15. FILL, PATCH & REPAIR ALL SURFACES WHICH ARE SCHEDULED TO

LEGEND

EXISTING

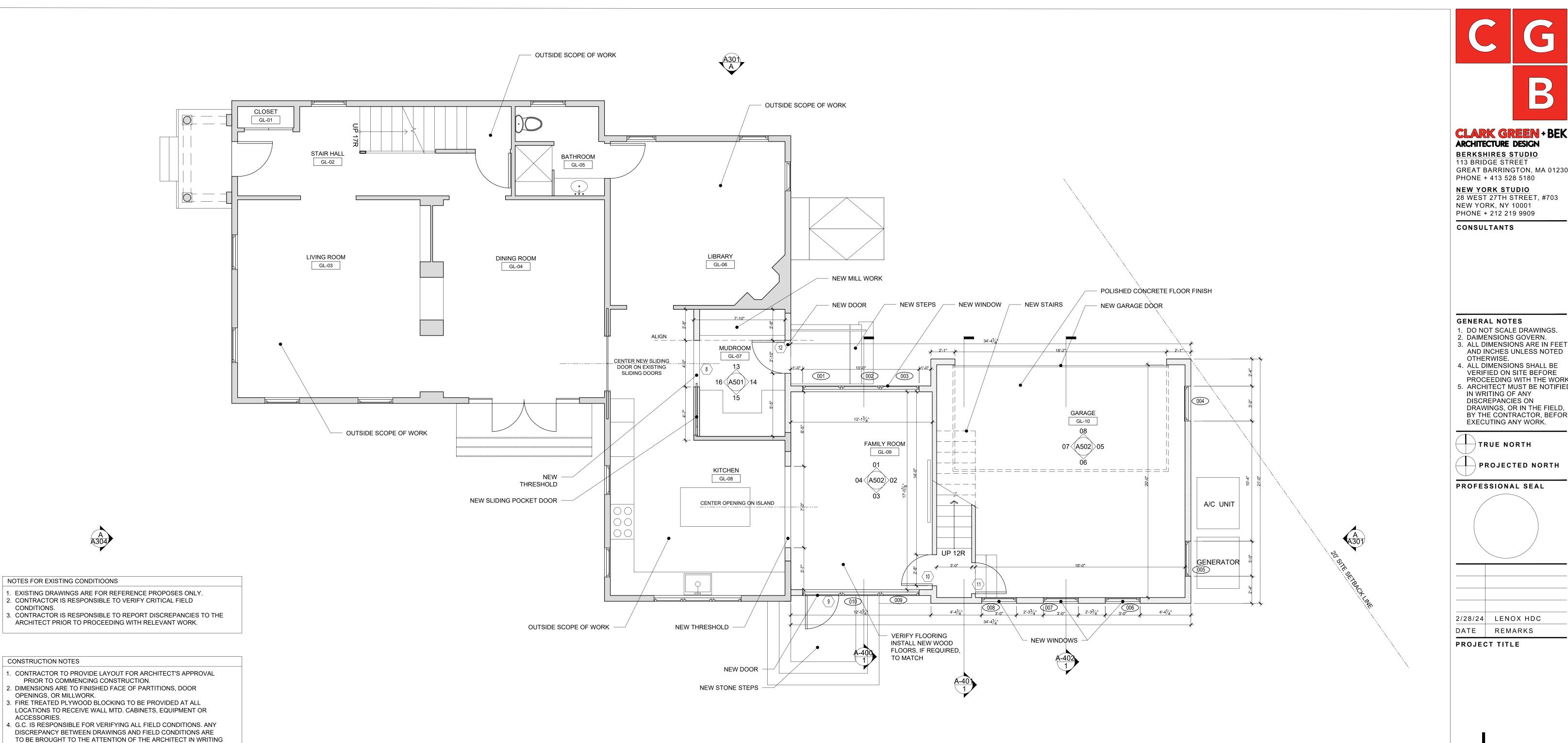
NEW FULL HEIGHT GWB

———— CONSTRUCTION

PARTITION

- REMAIN TO A SMOOTH AND FLUSH CONDITION IN PREPARATION FOR FINISH WORK.

  16.IN AREAS WHERE EXISTING FLOOR FINISHES ARE TO BE REMOVED,
- FLOORS ARE TO BE PATCHED, LEVELED & REPAIRED TO RECEIVE NEW FINISHES.
- 17.PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.



**ARCHITECTURE DESIGN** 

BERKSHIRES STUDIO 113 BRIDGE STREET

PHONE + 413 528 5180 NEW YORK STUDIO

NEW YORK, NY 10001 PHONE + 212 219 9909

CONSULTANTS

**GENERAL NOTES** 

OTHERWISE.

1. DO NOT SCALE DRAWINGS. 2. DAIMENSIONS GOVERN.

4. ALL DIMENSIONS SHALL BE

IN WRITING OF ANY

TRUE NORTH

PROFESSIONAL SEAL

2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

DISCREPANCIES ON

EXECUTING ANY WORK.

VERIFIED ON SITE BEFORE

PROCEEDING WITH THE WORK.

5. ARCHITECT MUST BE NOTIFIED

DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE

PROJECTED NORTH

3. ALL DIMENSIONS ARE IN FEET

AND INCHES UNLESS NOTED

GREAT BARRINGTON, MA 01230

28 WEST 27TH STREET, #703

SHEET TITLE

**GROUND LEVEL** CONSTRUCTION PLAN

SHEET NUMBER





OTHERWISE NOTED. 8. SKIM AND PAINT ALL WALL SURFACES, UNLESS NOTED OTHERWISE. 9. WHERE NEW GYPSUM WALLBOARD SURFACES ABUT EXISTING SURFACES, ALL TRANSITIONS ARE TO BE FINISHED FLUSH &

SMOOTH. 10. CONTRACTOR TO PROVIDE FIRE STOPPING WHERE EXISTING FIRE-STOPPING HAS BEEN DISTURBED AND/OR WILL BE REQUIRED IT IS TO BE INSTALLED. ALL FIRE-STOPPING IS TO BE CODE COMPLIANT AND COMPLY WITH APPLICABLE DOB CODES AND REGULATIONS

5. WHERE NEW PARTITIONS ALIGN WITH EXISTING PARTITIONS, A SMOOTH, CONTINUOUS TRANSITION BETWEEN OLD AND NEW WILL

6. G.C. TO PROVIDE ALL MATERIALS, EQUIPMENT, APPLIANCES AND FIXTURES UNLESS NOTED "PROVIDED BY OWNER" SKIM AND PAINT

BE PROVIDED. VISIBLE JOINTS WILL NOT BE ACCEPTED.

7. NEW FLOORS TO BE INSTALLED ABOVE EXISTING UNLESS

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CONSTRUCTION NOTES

ACCESSORIES.

PRIOR TO THAT PORTION OF THE WORK.

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TO BE INADEQUATE 14. THE SURFACES OF THE FLOOR SLAB, CEILING SLAB, STRUCTURAL COLUMNS AND BEAMS/GIRDERS ARE NOT TO BE NOTCHED OR CHANNELED TO ACCOMMODATE ANY OF THE WORK BEING DONE. 15. FILL, PATCH & REPAIR ALL SURFACES WHICH ARE SCHEDULED TO

REMAIN TO A SMOOTH AND FLUSH CONDITION IN PREPARATION FOR 16.IN AREAS WHERE EXISTING FLOOR FINISHES ARE TO BE REMOVED,

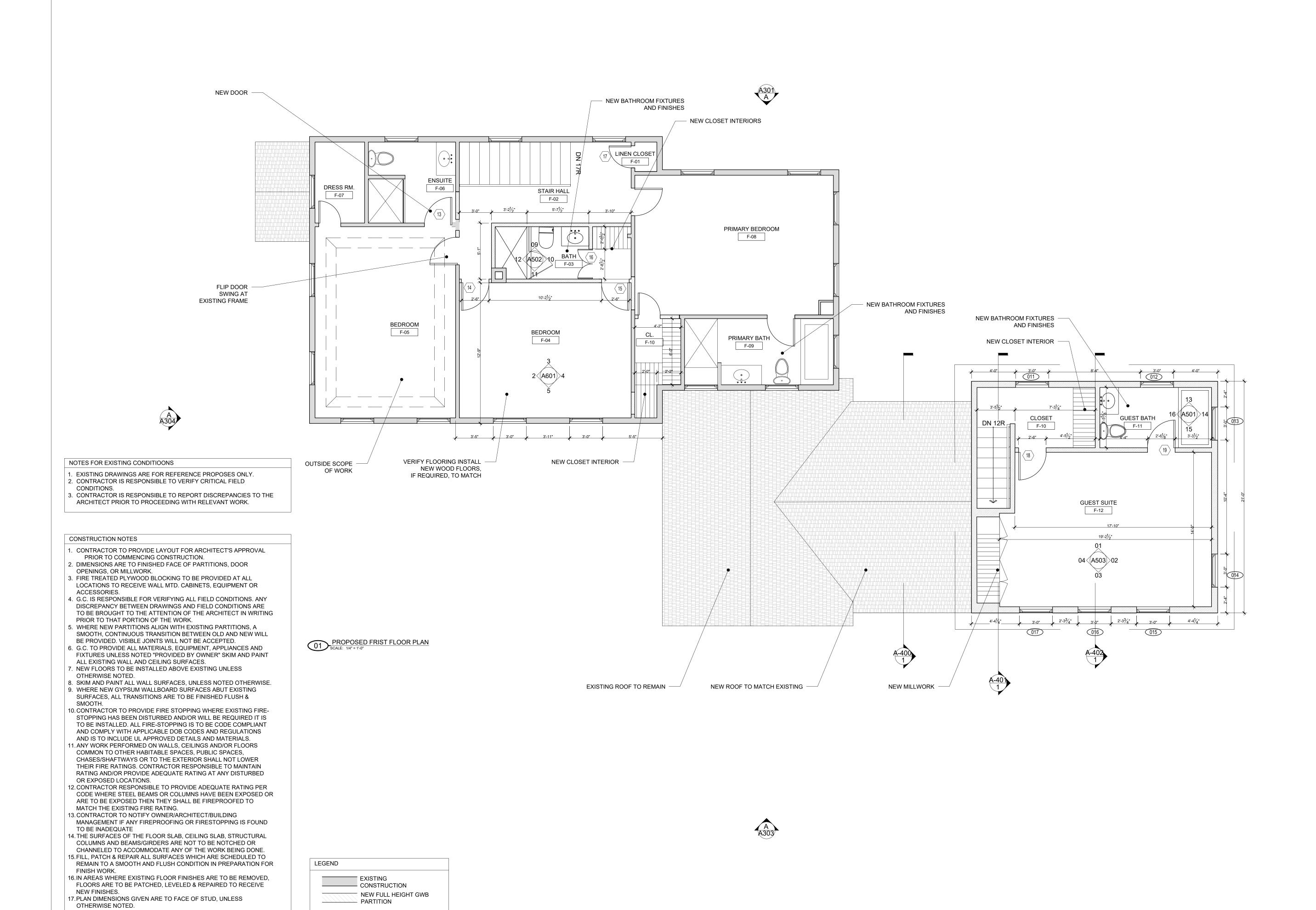
FLOORS ARE TO BE PATCHED, LEVELED & REPAIRED TO RECEIVE 17. PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD, UNLESS

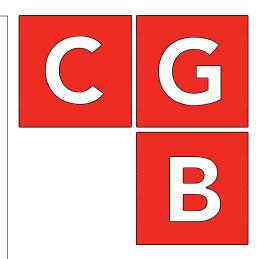
OTHERWISE NOTED.

EXISTING ———— CONSTRUCTION NEW FULL HEIGHT GWB PARTITION

LEGEND







BERKSHIRES STUDIO 113 BRIDGE STREET GREAT BARRINGTON, MA 01230

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28 WEST 27TH STREET, #703

NEW YORK, NY 10001

PHONE + 212 219 9909

CONSULTANTS

GENERAL NOTES

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TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL

2/28/24 LENOX HDC DATE REMARKS

PROJECT TITLE

CARMICHAEL
RESIDENCE

SHEET TITLE

FIRST LEVEL CONSTRUCTION PLAN

SHEET NUMBER

A-202.00



BERKSHIRES STUDIO 113 BRIDGE STREET

PHONE + 413 528 5180 **NEW YORK STUDIO** 28 WEST 27TH STREET, #703

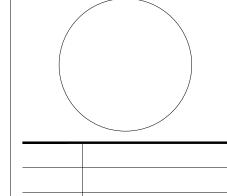
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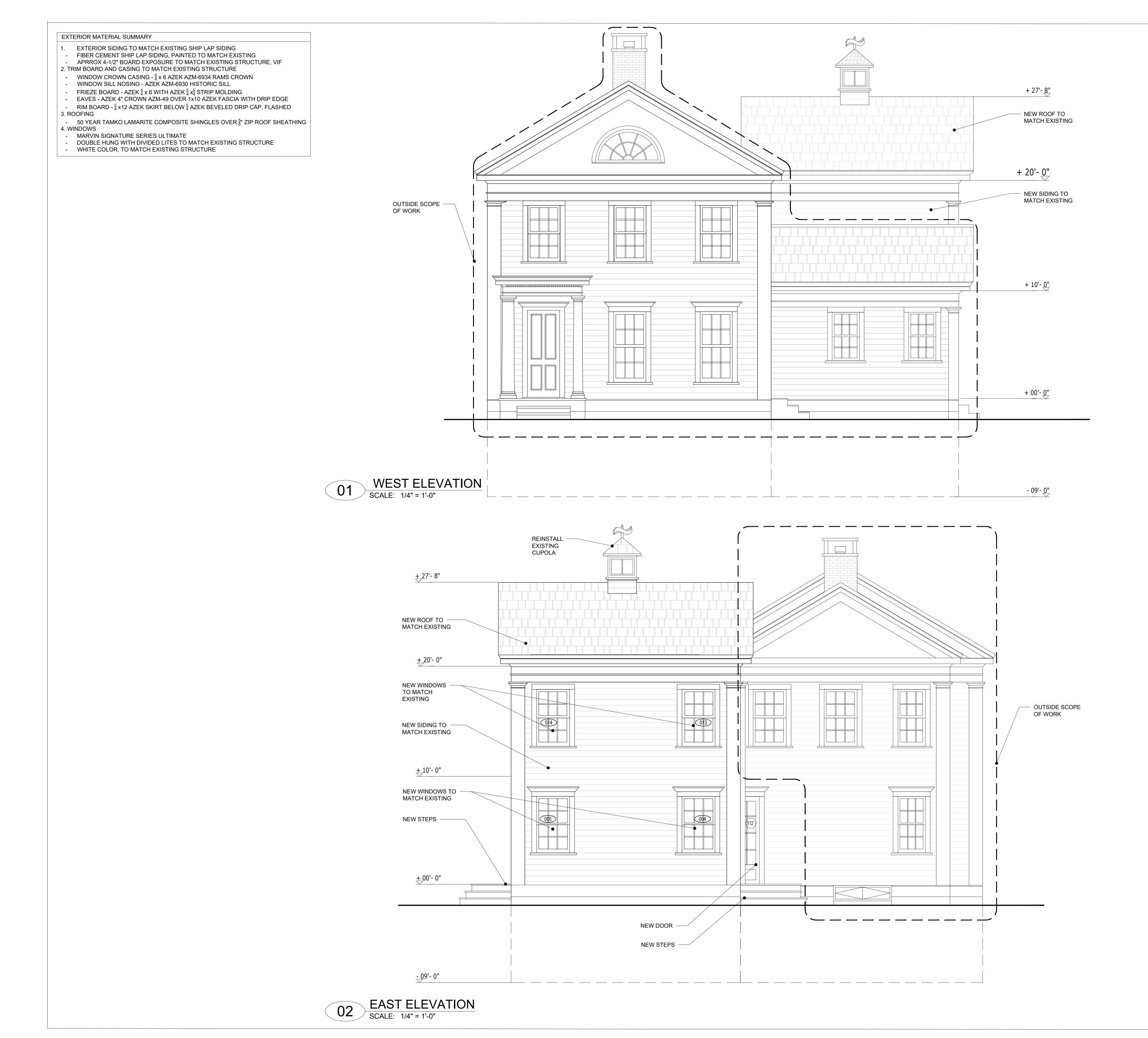
2/28/24 LENOX HDC

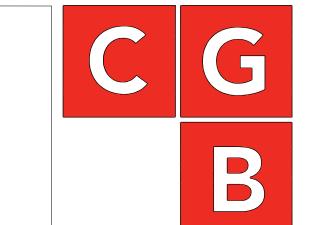
PROJECT TITLE

PROPOSED **ELEVATIONS** 

SHEET NUMBER

A-300.00





BERKSHIRES STUDIO 113 BRIDGE STREET GREAT BARRINGTON, MA 01230

PHONE + 413 528 5180

**NEW YORK STUDIO** 28 WEST 27TH STREET, #703 NEW YORK, NY 10001 PHONE + 212 219 9909

CONSULTANTS

**GENERAL NOTES** 

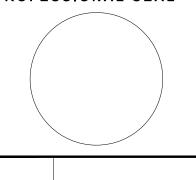
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2/28/24 LENOX HDC DATE REMARKS

PROJECT TITLE

SHEET TITLE

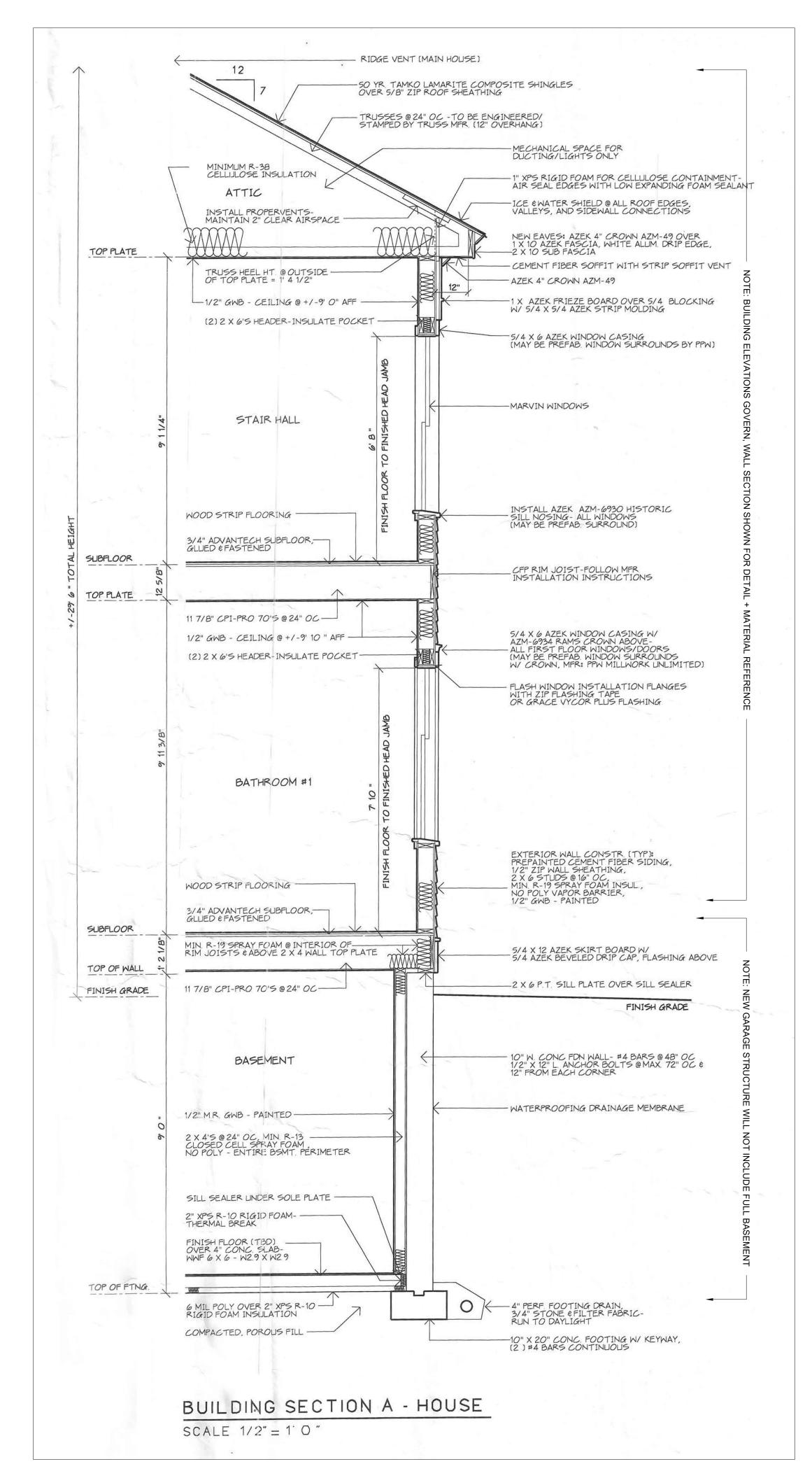
PROPOSED **ELEVATIONS** 

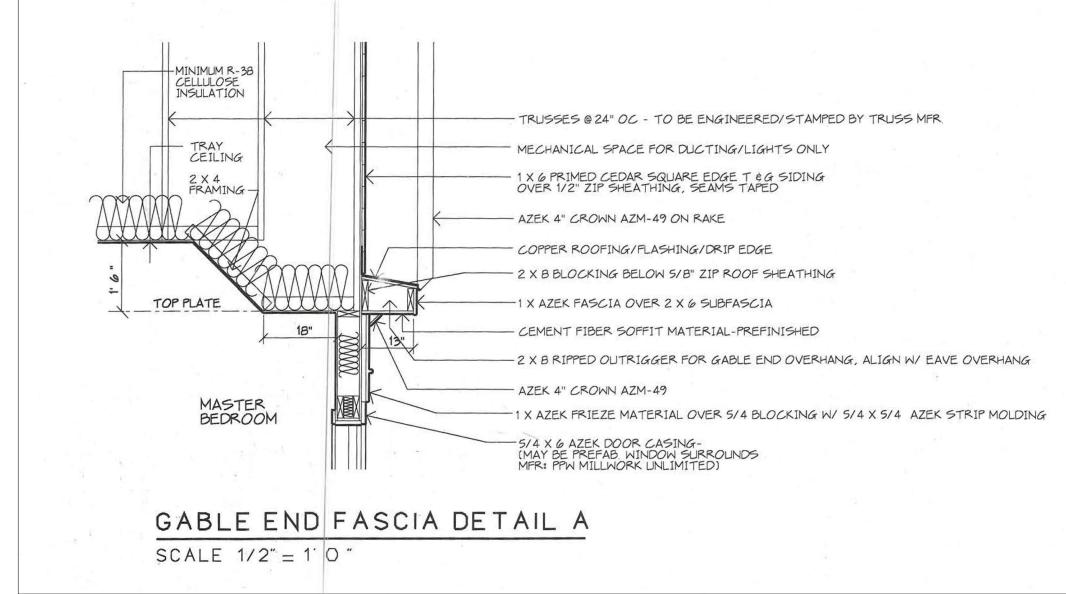
SHEET NUMBER

A-301.00

#### EXTERIOR MATERIAL SUMMARY

- 1. EXTERIOR SIDING TO MATCH EXISTING SHIP LAP SIDING - FIBER CEMENT SHIP LAP SIDING, PAINTED TO MATCH EXISTING APRROX 4-1/2" BOARD EXPOSURE TO MATCH EXISTING STRUCTURE, VIF 2. TRIM BOARD AND CASING TO MATCH EXISTING STRUCTURE
- WINDOW CROWN CASING  $-\frac{5}{4} \times 6$  AZEK AZM-6934 RAMS CROWN WINDOW SILL NOSING - AZEK AZM-6930 HISTORIC SILL FRIEZE BOARD - AZEK  $\frac{5}{4}$  x 6 WITH AZEK  $\frac{5}{4}$  x $\frac{5}{4}$  STRIP MOLDING EAVES - AZEK 4" CROWN AZM-49 OVER 1x10 AZEK FASCIA WITH DRIP EDGE RIM BOARD -  $\frac{5}{4}$  x12 AZEK SKIRT BELOW  $\frac{5}{4}$  AZEK BEVELED DRIP CAP, FLASHED
- 3. ROOFING - 50 YEAR TAMKO LAMARITE COMPOSITE SHINGLES OVER 5 ZIP ROOF SHEATHING 4. WINDOWS
  - MARVIN SIGNATURE SERIES ULTIMATE
  - DOUBLE HUNG WITH DIVIDED LITES TO MATCH EXISTING STRUCTURE WHITE COLOR, TO MATCH EXISTING STRUCTURE





CONTRACTOR TO MATCH ALL ORIGINAL

DWELLING STRUCTURE WALL SECTION

DETAILS AND MATERIAL SPECIFICATIONS

#### **CLARK GREEN + BEK ARCHITECTURE DESIGN**

BERKSHIRES STUDIO 113 BRIDGE STREET GREAT BARRINGTON, MA 01230

NEW YORK, NY 10001

PHONE + 212 219 9909

PHONE + 413 528 5180 NEW YORK STUDIO 115 WEST 29TH STREET, #1105

CONSULTANTS

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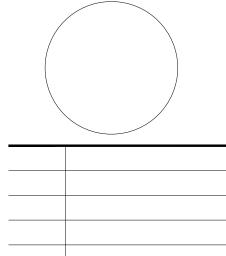
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DATE REMARKS PROJECT TITLE

SHEET TITLE

ORIGINAL WALL SECTIONS

SHEET NUMBER

A-410.00