

CLARK GREEN + BEK
ARCHITECTURE DESIGN

BERKSHIRES STUDIO
113 BRIDGE STREET
GREAT BARRINGTON, MA 01230
PHONE + 413 528 5180

NEW YORK STUDIO
28 WEST 27TH STREET, #703
NEW YORK, NY 10001
PHONE + 212 219 9909

CONSULTANTS

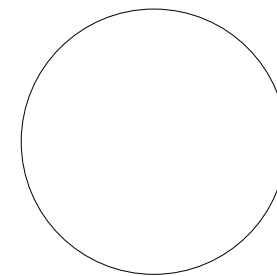
GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. DAIMENSIONS GOVERN.
3. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
5. ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES ON DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE EXECUTING ANY WORK.

TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL



2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

**CARMICHAEL
RESIDENCE**

14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

EXISTING DWELLING
STRUCTURE IMAGES

SHEET NUMBER

A-002.00



04 INTERIOR OF SITE VIEW OF GARAGE
SCALE: NTS



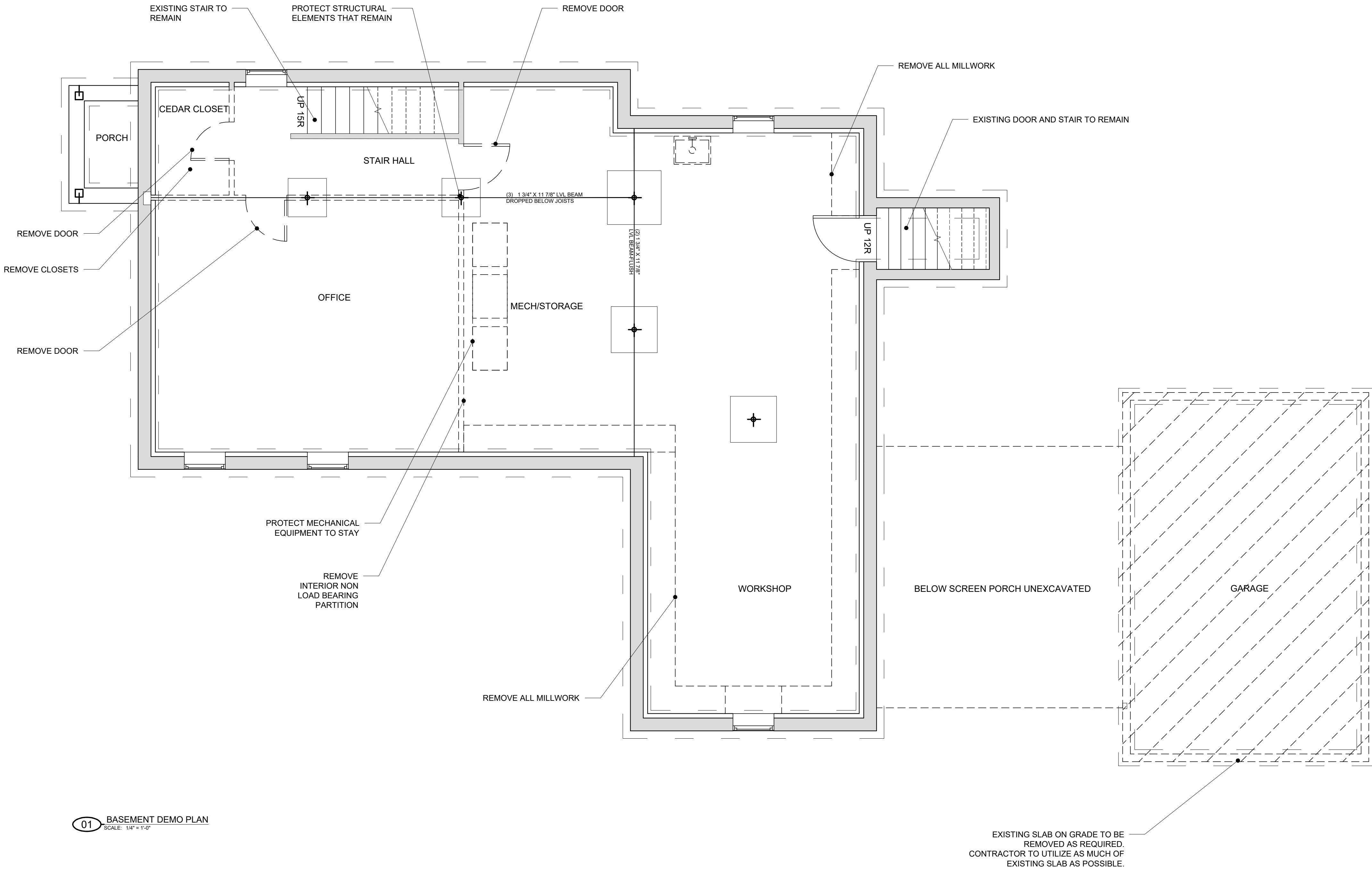
03 VIEW FROM MAIN ST
SCALE: NTS



02 VIEW FROM MAIN ST OF GARAGE
SCALE: NTS



01 VIEW FROM CLIFFWOOD ST
SCALE: NTS



01 BASEMENT DEMO PLAN
SCALE: 1/4" = 1'-0"

NOTES FOR EXISTING CONDTIOONS

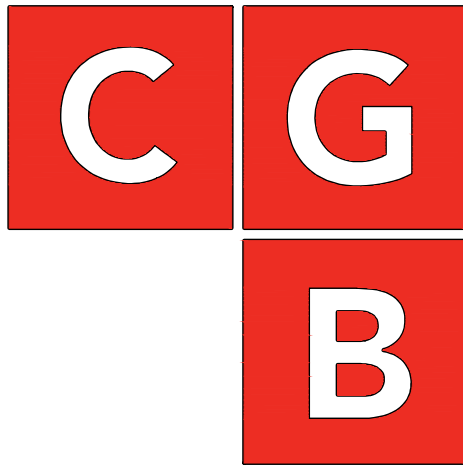
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3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.

LEGEND

- EXISTING CONSTRUCTION
TO BE DEMOLISHED

DEMOLITION NOTES

1. DUST AND DEBRIS WILL BE CONTAINED WITHIN THE AFFECTED AREAS. ALL EFFORTS WILL BE MADE TO PREVENT INFILTRATION INTO ADJACENT LIVING SPACE, OR ADJACENT PROPERTIES.
2. ALL EXISTING PLUMBING ROUGH-IN TO REMAIN.
3. G.C. TO PROVIDE TEMPORARY POWER AND LIGHTING, AS REQUIRED.
4. ALL REMOVALS AND DEMOLITION NOT SPECIFICALLY IDENTIFIED WITHIN THIS DRAWING, BUT REQUIRED TO COMPLETE THE SCOPE OF WORK ARE TO BE INCLUDED.
5. ANY REQUIRED ELECTRICAL OR PLUMBING SHUTDOWNS WILL BE COORDINATED WITH OWNER AND BUILDING A MINIMUM OF ONE WEEK IN ADVANCE.
6. G.C. RESPONSIBLE FOR HAULING ALL DEMOLITION, CONSTRUCTION DEBRIS, AND GREEN DUST. NO DEBRIS WILL BE STORED ON PREMISES.
7. REMOVE BASEBOARDS THROUGHOUT



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115 WEST 29TH STREET, #1105
NEW YORK, NY 10001
PHONE + 212 219 9909

CONSULTANTS

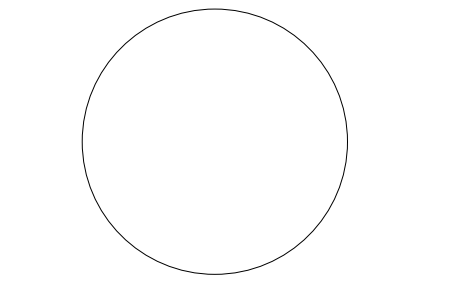
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TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL



DATE REMARKS

PROJECT TITLE

CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

BASEMENT LEVEL
DEMO PLAN

SHEET NUMBER

A-100.00

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PROFESSIONAL SEAL	
2/28/24	LENOX HDC
DATE	REMARKS
PROJECT TITLE	

CARMICHAEL

RESIDENCE

14 CLIFFWOOD ST

LENOX, MA 01240

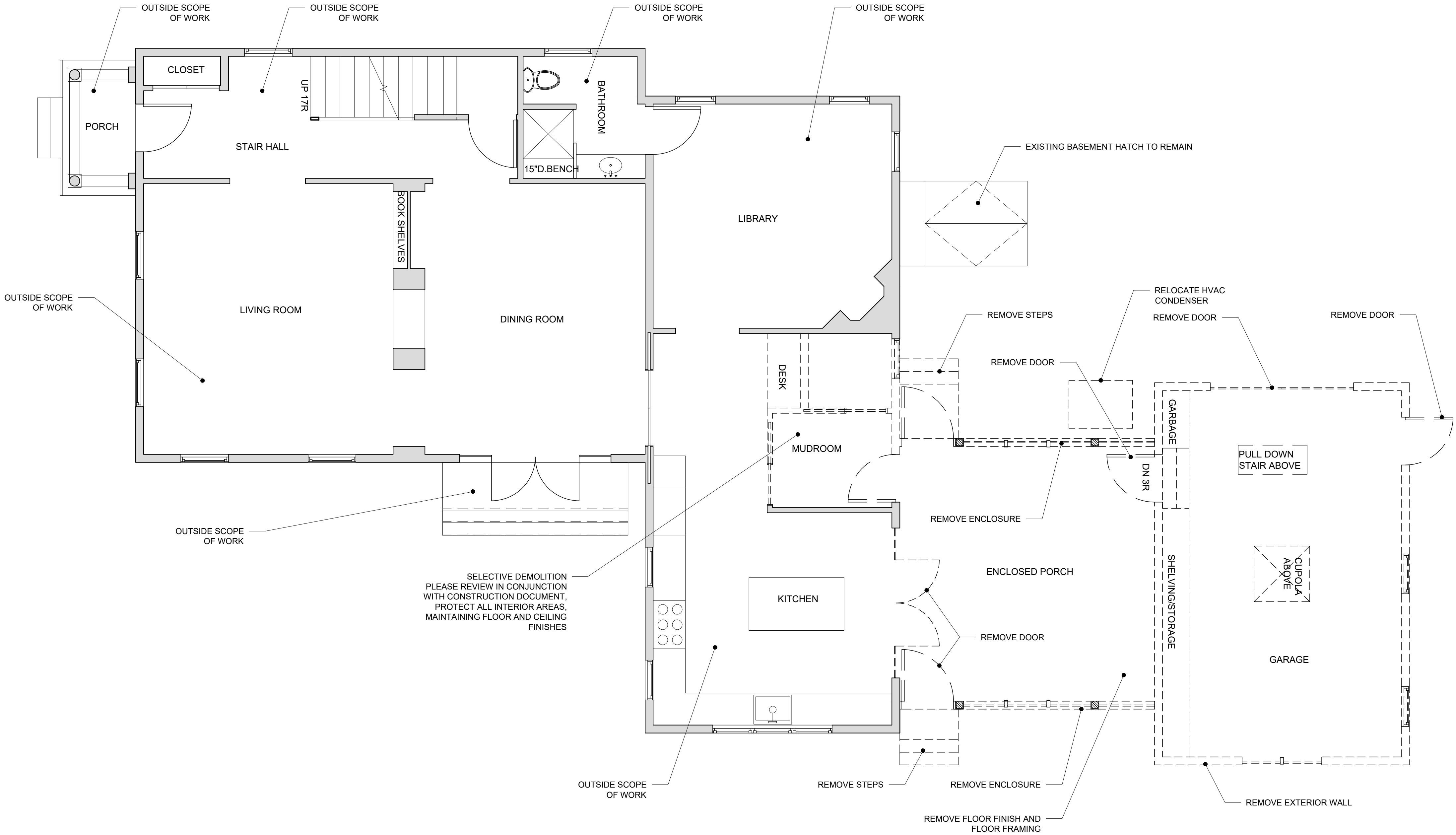
SHEET TITLE

GROUND LEVEL

DEMO PLAN

SHEET NUMBER

A-101.00



LEGEND	
	EXISTING CONSTRUCTION
	TO BE DEMOLISHED

- DEMOLITION NOTES
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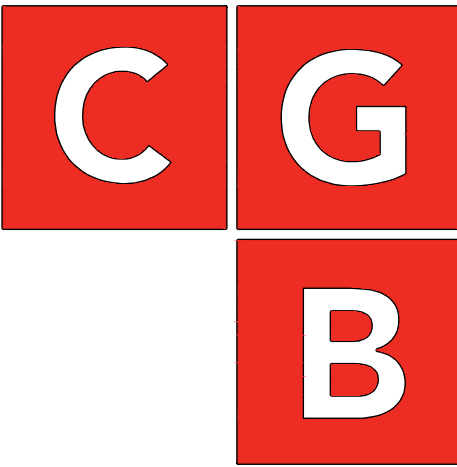
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7. REMOVE BASEBOARDS THROUGHOUT

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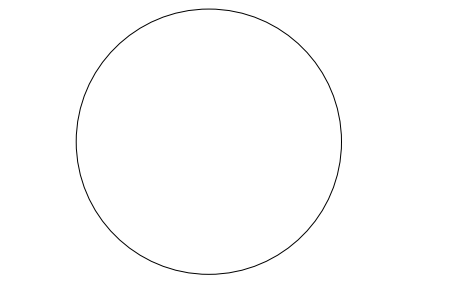
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TRUE NORTH

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PROFESSIONAL SEAL



2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

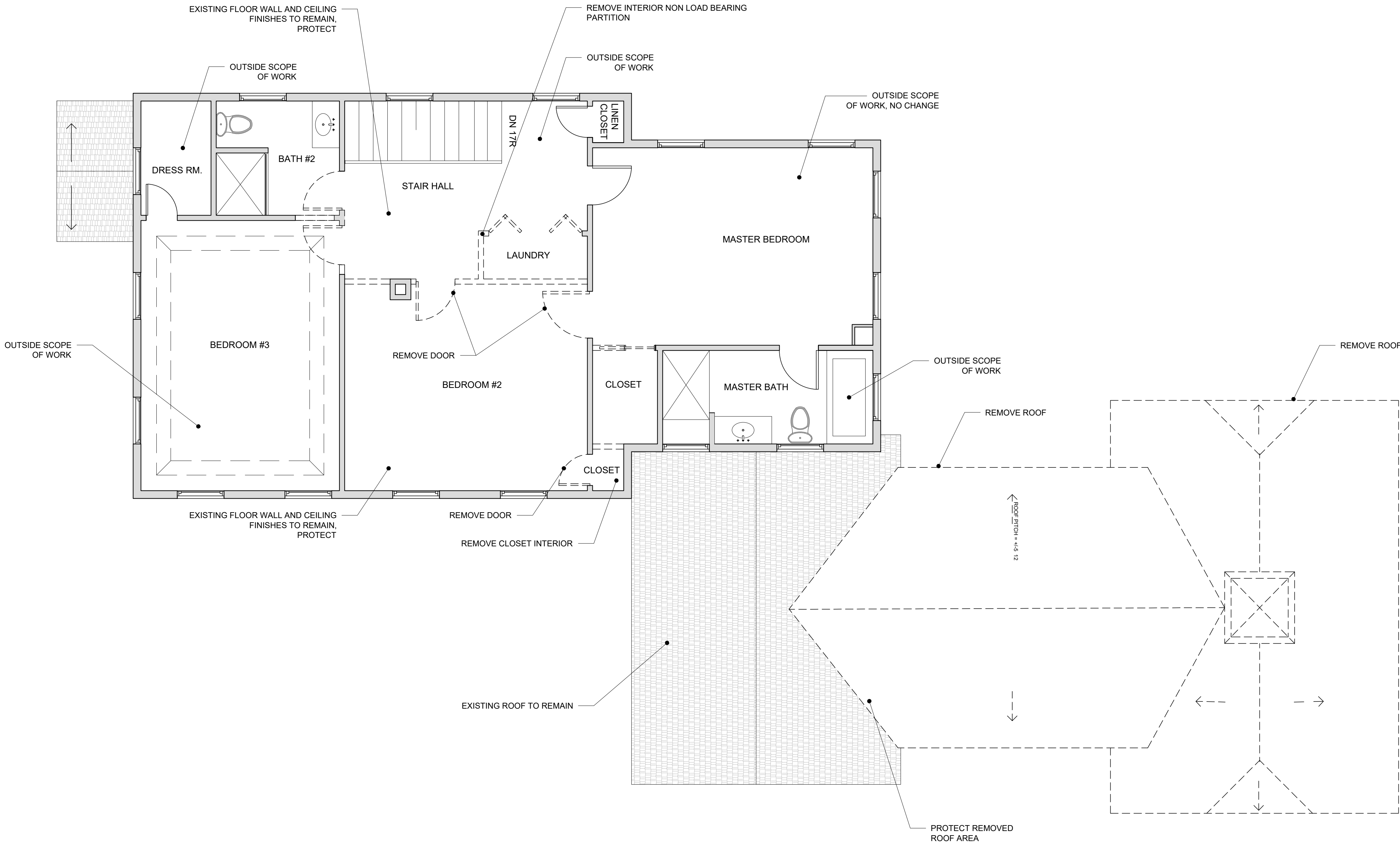
CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

FIRST LEVEL
DEMO PLAN

SHEET NUMBER

A-102.00



01 FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
	EXISTING CONSTRUCTION
	TO BE DEMOLISHED

DEMOLITION NOTES

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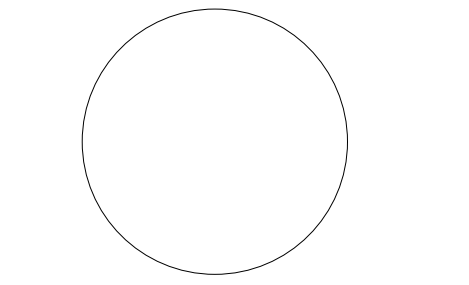
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PROFESSIONAL SEAL



2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

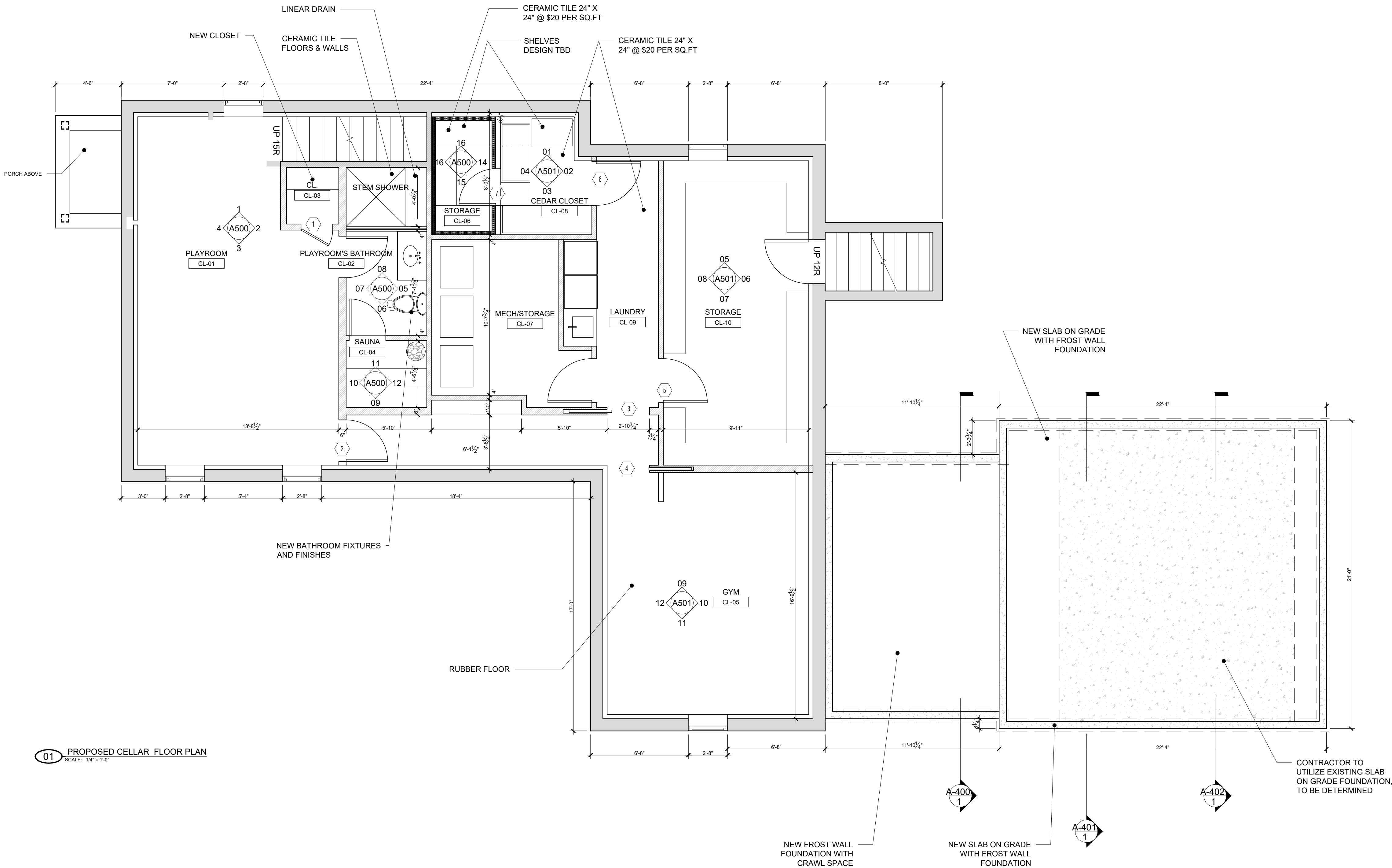
CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

CELLAR LEVEL
CONSTRUCTION
PLAN

SHEET NUMBER

A-200.00



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 - DIMENSIONS ARE TO FINISHED FACE OF PARTITIONS, DOOR OPENINGS, OR MILLWORK.
 - FIRE TREATED PLYWOOD BLOCKING TO BE PROVIDED AT ALL LOCATIONS TO RECEIVE WALL MTD. CABINETS, EQUIPMENT OR ACCESSORIES
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 - NEW FLOORS TO BE INSTALLED ABOVE EXISTING UNLESS OTHERWISE NOTED.
 - SKIM AND PAINT ALL WALL SURFACES, UNLESS NOTED OTHERWISE.
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 - CONTRACTOR TO PROVIDE FIRE STOPPING WHERE EXISTING FIRE-STOPPING HAS BEEN DISTURBED AND/OR WILL BE REQUIRED IT IS TO BE INSTALLED. ALL FIRE-STOPPING IS TO BE CODE COMPLIANT AND COMPLY WITH APPLICABLE DOB CODES AND REGULATIONS AND IS TO INCLUDE UL APPROVED DETAILS AND MATERIALS.
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 - IN AREAS WHERE EXISTING FLOOR FINISHES ARE TO BE REMOVED, FLOORS ARE TO BE PATCHED, LEVELED & REPAIRED TO RECEIVE NEW FINISHES.
 - PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.

LEGEND	
	EXISTING CONSTRUCTION
	NEW FULL HEIGHT GWB PARTITION



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NEW YORK, NY 10001
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CONSULTANTS

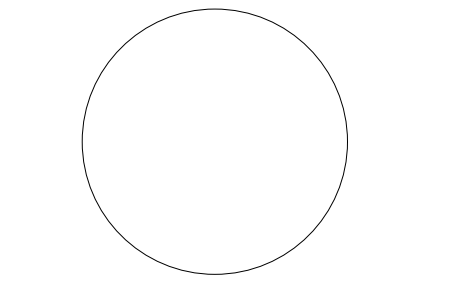
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TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL



2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

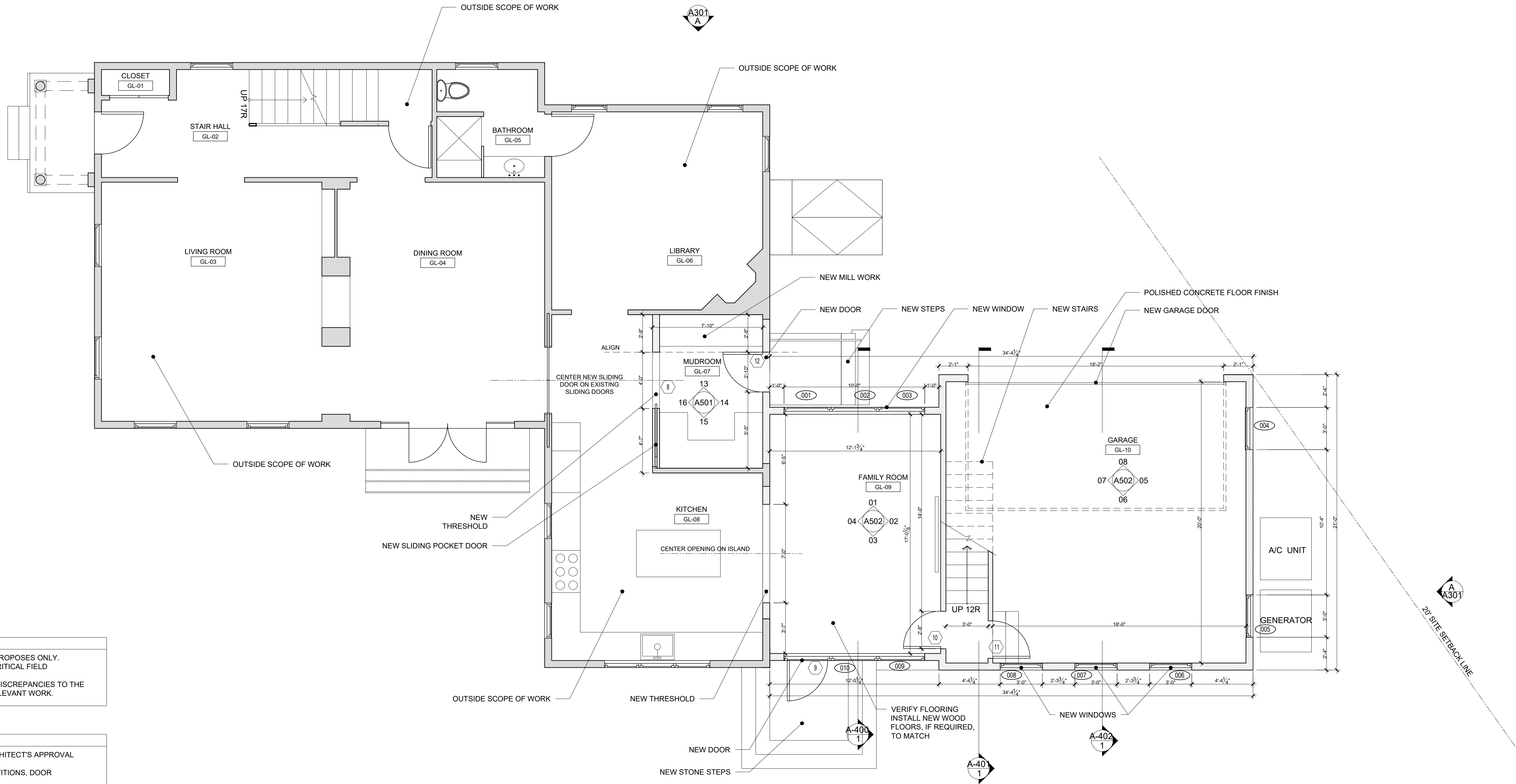
CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

GROUND LEVEL
CONSTRUCTION
PLAN

SHEET NUMBER

A-201.00



NOTES FOR EXISTING CONDIIOONS

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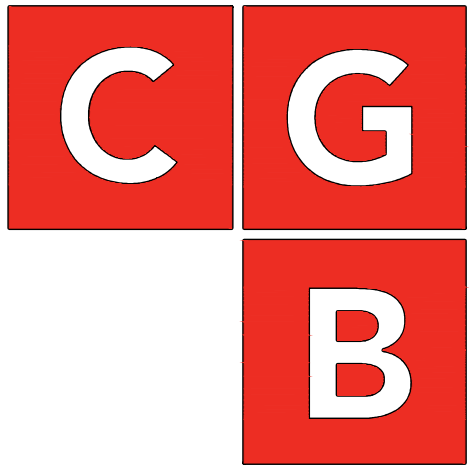
CONSTRUCTION NOTES

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01 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION
- NEW FULL HEIGHT GWB PARTITION



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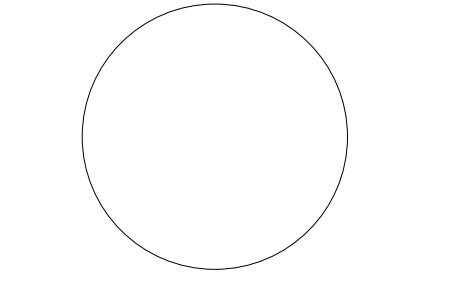
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CONSULTANTS

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PROFESSIONAL SEAL



2/28/24	LENOX HDC
DATE	REMARKS

PROJECT TITLE

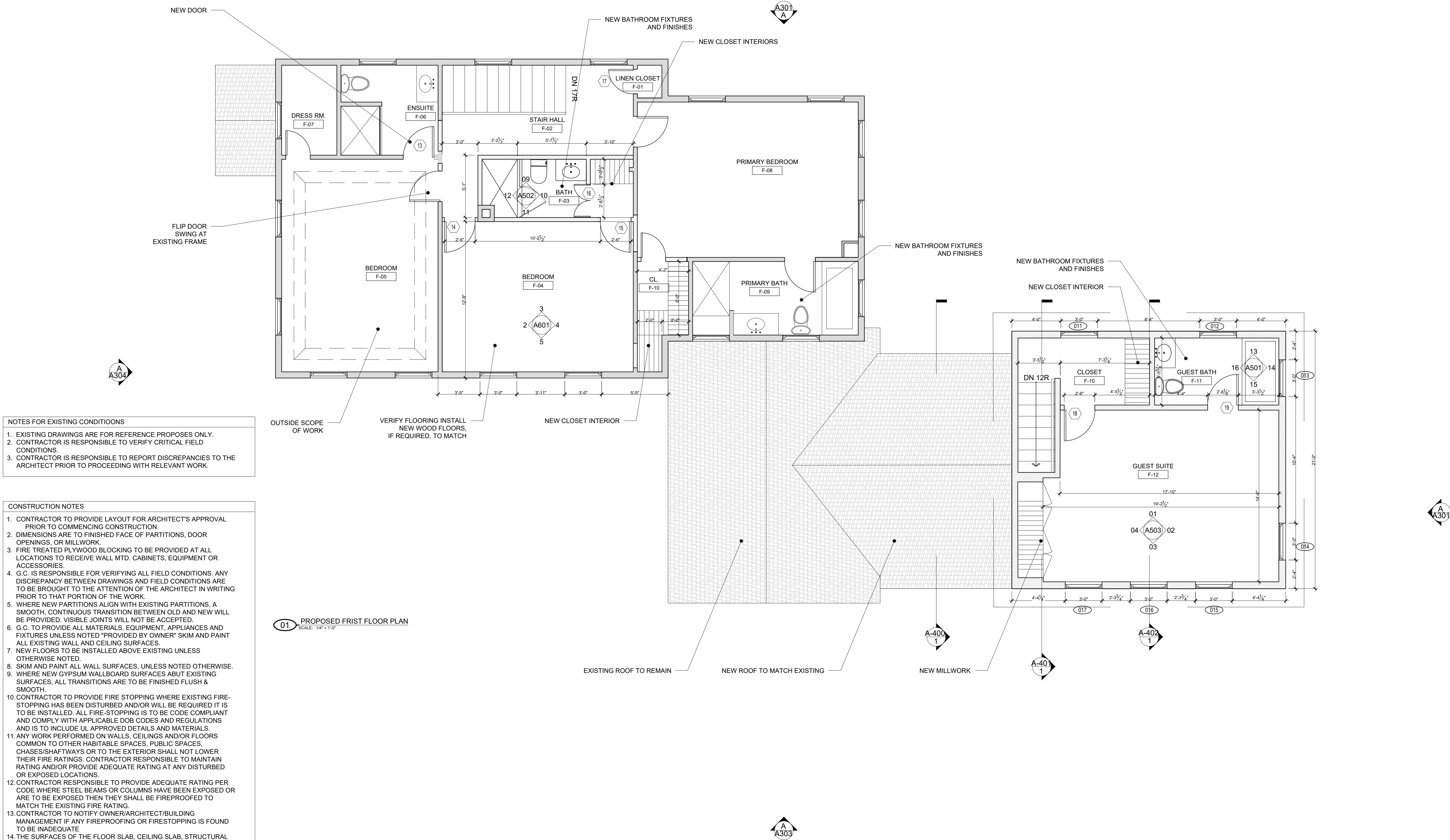
CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

FIRST LEVEL
CONSTRUCTION
PLAN

SHEET NUMBER

A-202.00



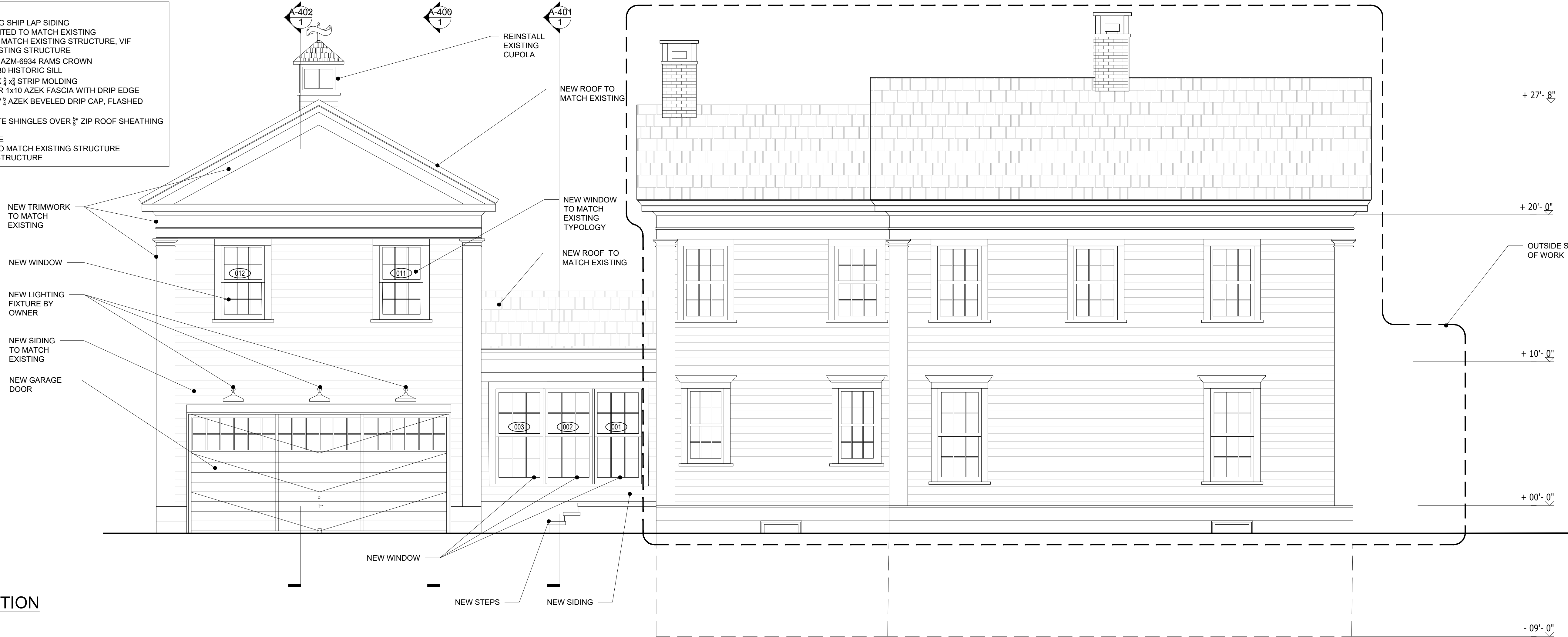
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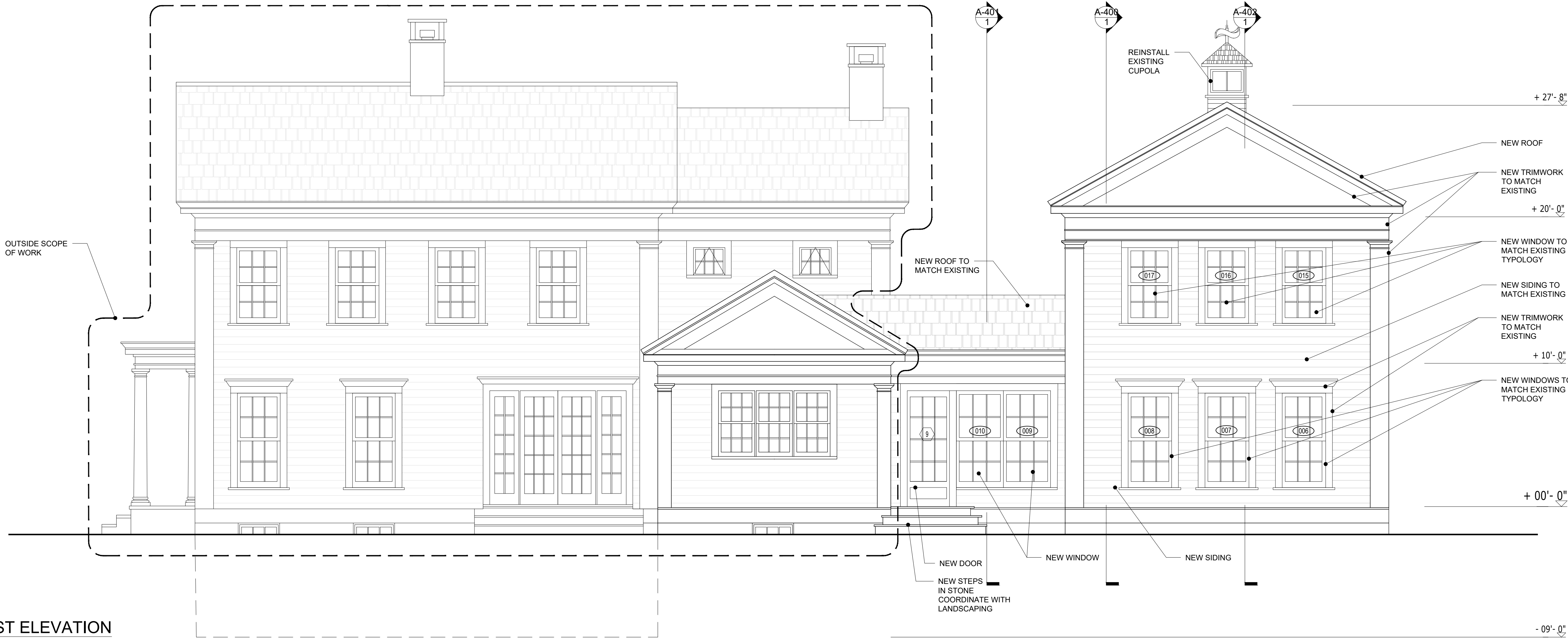
01 PROPOSED FRIST FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING CONSTRUCTION
	NEW FULL HEIGHT GWB PARTITION

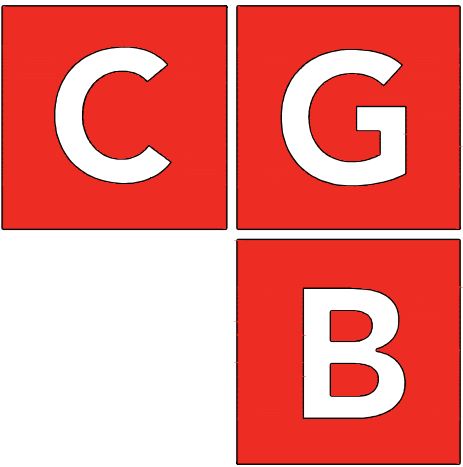
- EXTERIOR MATERIAL SUMMARY
- EXTERIOR SIDING TO MATCH EXISTING SHIP LAP SIDING
 - FIBER CEMENT SHIP LAP SIDING, PAINTED TO MATCH EXISTING
 - APPROX 4-1/2" BOARD EXPOSURE TO MATCH EXISTING STRUCTURE, VIF
 - TRIM BOARD AND CASING TO MATCH EXISTING STRUCTURE
 - WINDOW CROWN CASING - 3/4" x 6 AZEK AZM-6934 RAMS CROWN
 - WINDOW SILL NOSING - AZEK AZM-6930 HISTORIC SILL
 - FRIEZE BOARD - AZEK 3/4" x 6 WITH AZEK 1/2" x 2 STRIP MOLDING
 - EAVES - AZEK 4" CROWN AZM-49 OVER 1x10 AZEK FASCIA WITH DRIP EDGE
 - RIM BOARD - 3/4" x 12 AZEK SKIRT BELOW 1/2" AZEK BEVELED DRIP CAP, FLASHED
 - ROOFING
 - 50 YEAR TAMKO LAMARITE COMPOSITE SHINGLES OVER 5/8" ZIP ROOF SHEATHING
 - WINDOWS
 - MARVIN SIGNATURE SERIES ULTIMATE
 - DOUBLE HUNG WITH DIVIDED LITES TO MATCH EXISTING STRUCTURE
 - WHITE COLOR, TO MATCH EXISTING STRUCTURE



01 WEST ELEVATION
SCALE: 1/4" = 1'-0"



02 EAST ELEVATION
SCALE: 1/4" = 1'-0"



CLARK GREEN + BEK
ARCHITECTURE DESIGN

BERKSHIRES STUDIO
113 BRIDGE STREET
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NEW YORK STUDIO
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NEW YORK, NY 10001
PHONE + 212 219 9909

CONSULTANTS

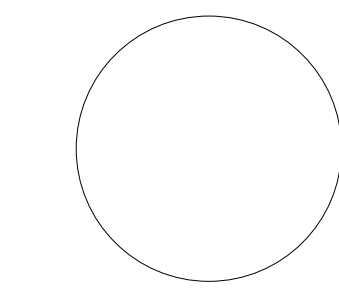
GENERAL NOTES

- DO NOT SCALE DRAWINGS.
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- ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES ON DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE EXECUTING ANY WORK.

TRUE NORTH

PROJECTED NORTH

PROFESSIONAL SEAL



2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

**CARMICHAEL
RESIDENCE**
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

PROPOSED
ELEVATIONS

SHEET NUMBER

A-300.00

- EXTERIOR MATERIAL SUMMARY
- EXTERIOR SIDING TO MATCH EXISTING SHIP LAP SIDING
 - FIBER CEMENT SHIP LAP SIDING, PAINTED TO MATCH EXISTING
 - APPROX 4-1/2" BOARD EXPOSURE TO MATCH EXISTING STRUCTURE, VIF
 - TRIM BOARD AND CASING TO MATCH EXISTING STRUCTURE
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 - DOUBLE HUNG WITH DIVIDED LITES TO MATCH EXISTING STRUCTURE
 - WHITE COLOR, TO MATCH EXISTING STRUCTURE

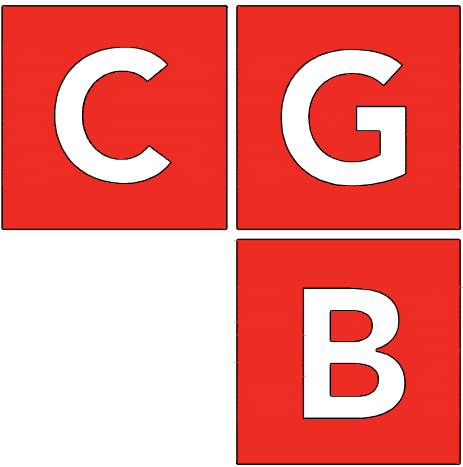
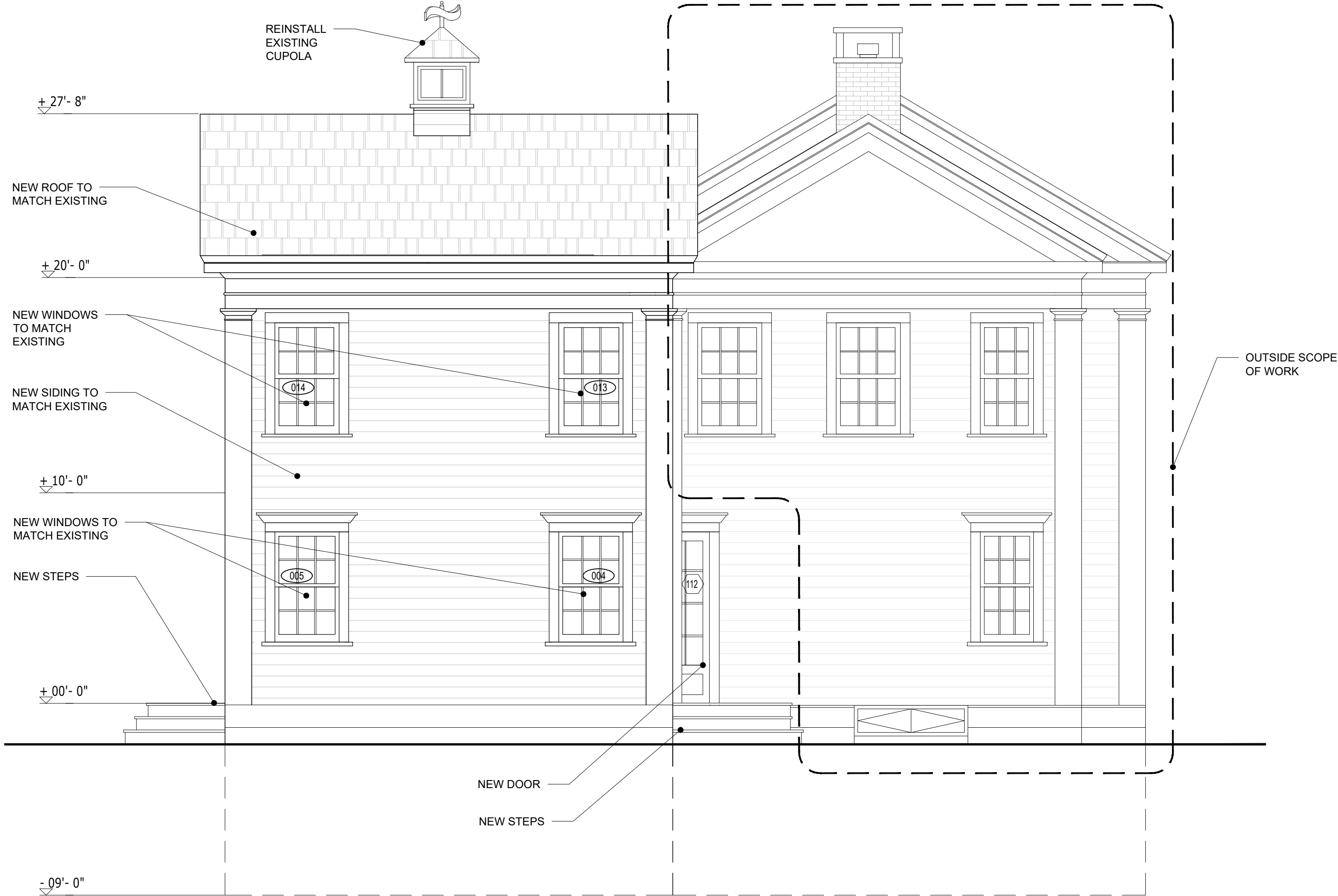
01 WEST ELEVATION

SCALE: 1/4" = 1'-0"



02 EAST ELEVATION

SCALE: 1/4" = 1'-0"



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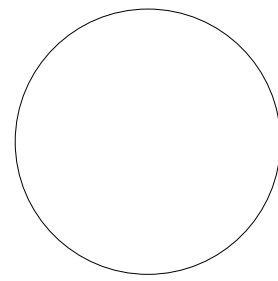


TRUE NORTH



PROJECTED NORTH

PROFESSIONAL SEAL



2/28/24 LENOX HDC

DATE REMARKS

PROJECT TITLE

CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENOX, MA 01240

SHEET TITLE

PROPOSED
ELEVATIONS

SHEET NUMBER

A-301.00

- EXTERIOR MATERIAL SUMMARY
1. EXTERIOR SIDING TO MATCH EXISTING SHIP LAP SIDING

- FIBER CEMENT SHIP LAP SIDING, PAINTED TO MATCH EXISTING

- APPROX 4-1/2" BOARD EXPOSURE TO MATCH EXISTING STRUCTURE, VIF
2. TRIM BOARD AND CASING TO MATCH EXISTING STRUCTURE
- WINDOW CROWN CASING - 3/4" x 6 AZEK AZM-6934 RAMS CROWN

- WINDOW SILL NOSING - AZEK AZM-6930 HISTORIC SILL

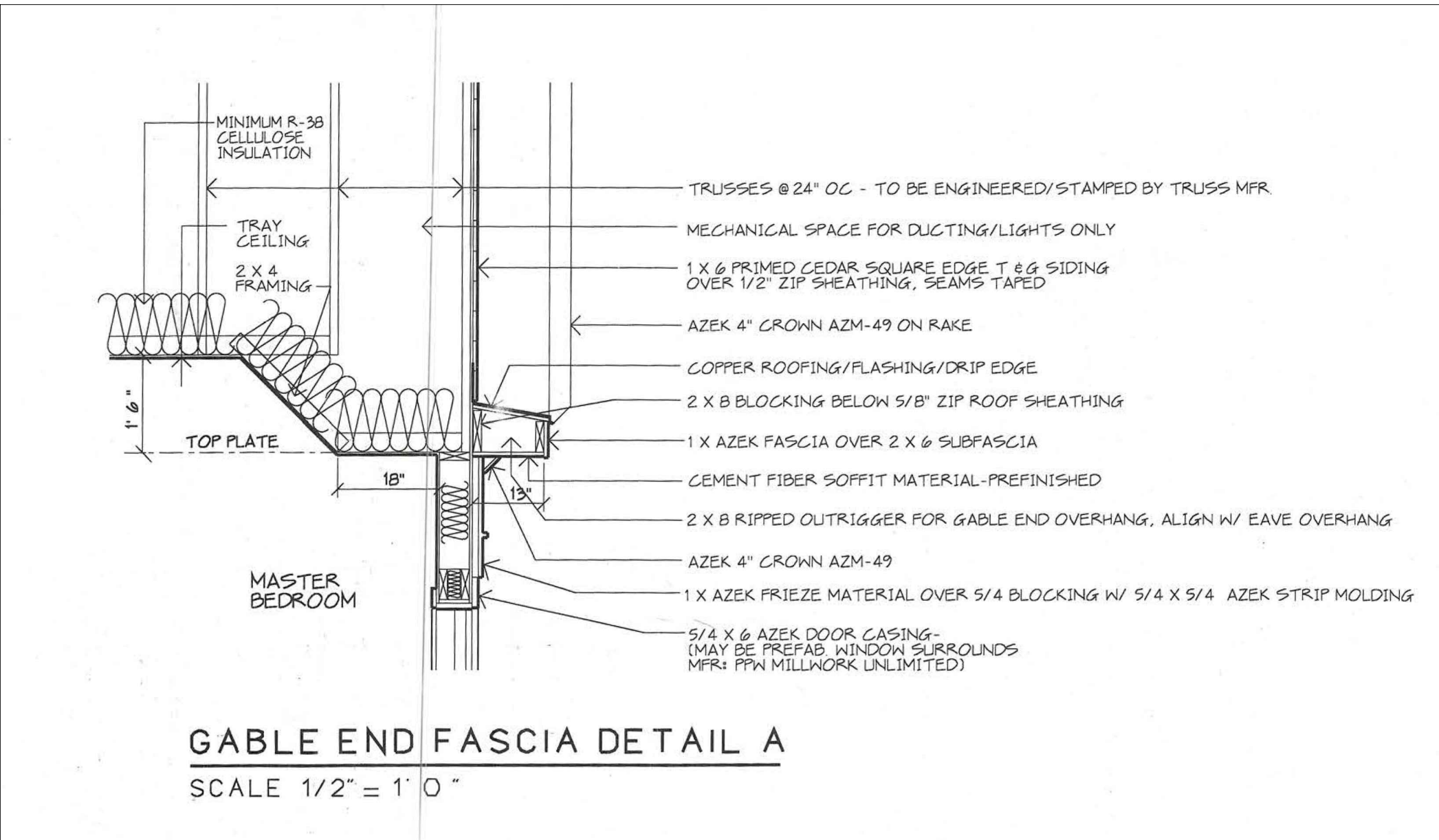
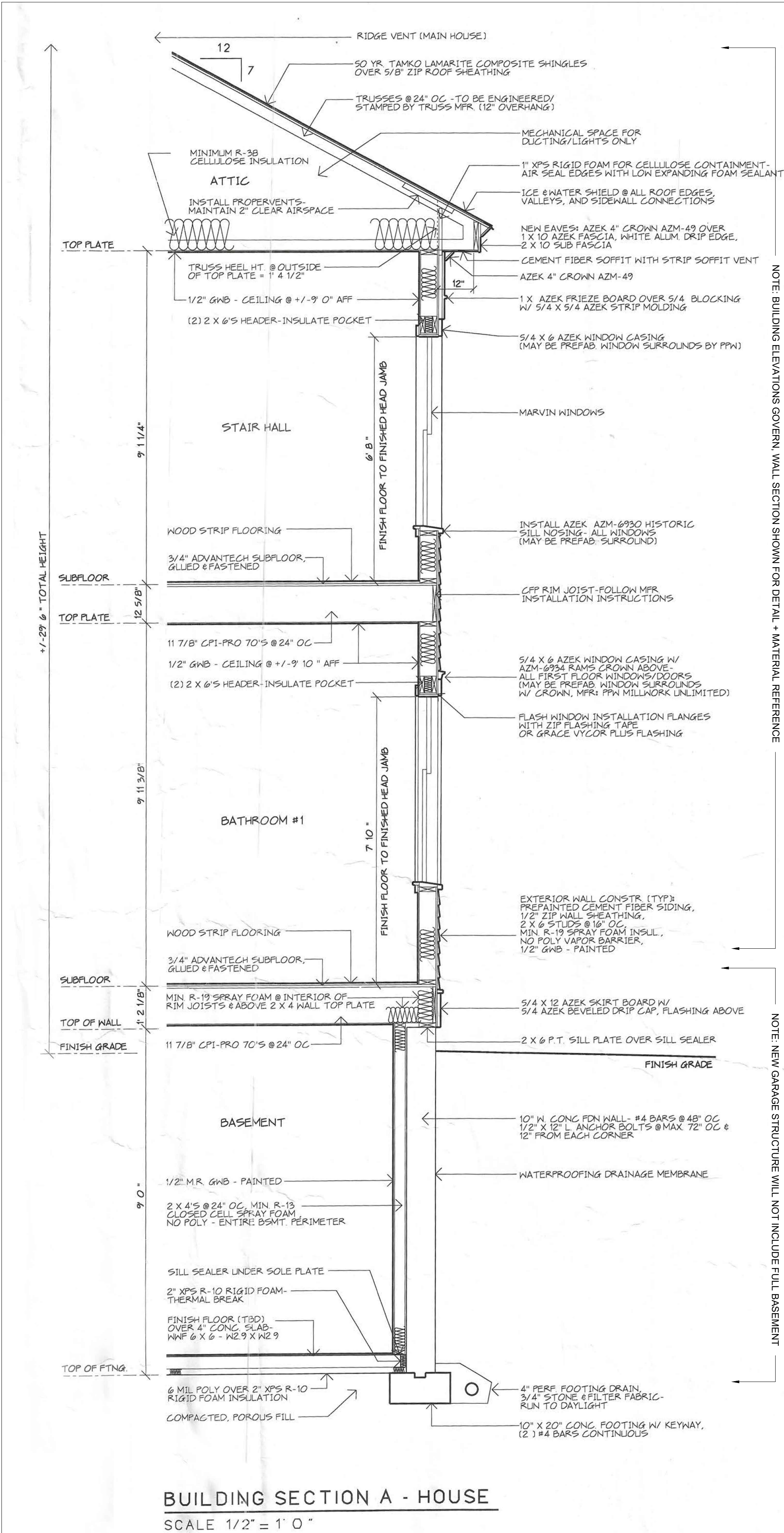
- FRIEZE BOARD - AZEK 3/4" x 6 WITH AZEK 3/4" x 3/4" STRIP MOLDING

- EAVES - AZEK 4" CROWN AZM-49 OVER 1x10 AZEK FASCIA WITH DRIP EDGE

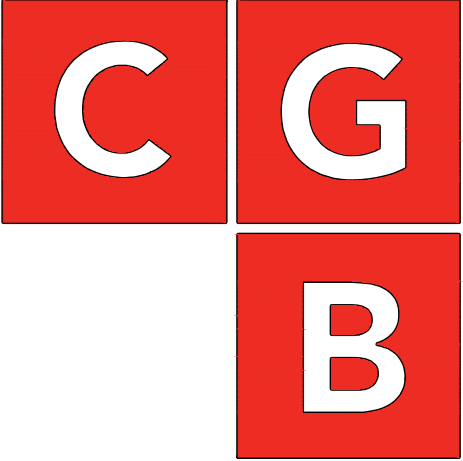
- RIM BOARD - 3/4" x 12 AZEK SKIRT BELOW 3/4" AZEK BEVELED DRIP CAP, FLASHED
3. ROOFING
- 50 YEAR TAMKO LAMARITE COMPOSITE SHINGLES OVER 5/8" ZIP ROOF SHEATHING
4. WINDOWS
- MARVIN SIGNATURE SERIES ULTIMATE

- DOUBLE HUNG WITH DIVIDED LITES TO MATCH EXISTING STRUCTURE

- WHITE COLOR, TO MATCH EXISTING STRUCTURE



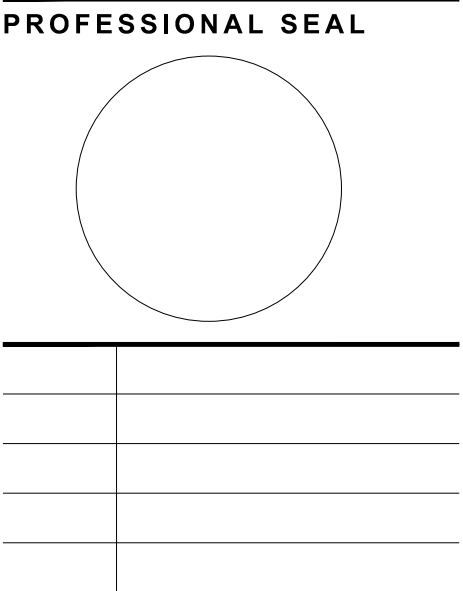
CONTRACTOR TO MATCH ALL ORIGINAL DWELLING STRUCTURE WALL SECTION DETAILS AND MATERIAL SPECIFICATIONS



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- TRUE NORTH**
- PROJECTED NORTH**



DATE	REMARKS

PROJECT TITLE

CARMICHAEL
RESIDENCE
14 CLIFFWOOD ST
LENEX, MA 01240

SHEET TITLE
ORIGINAL
WALL SECTIONS
SHEET NUMBER

A-410.00